

DESIGN GUIDELINES

BROADSTEAD KILMORE

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1.0 — Introduction

1.1 —
The Vision

These design guidelines have been prepared to assist Broadstead purchasers and their builders / designers to construct well designed, high quality homes.

These guidelines will help create a premium community that is consistent in its vision and welcoming to its residents.

1.2 —
The Process

The plans for all new buildings and outdoor works must be approved by the Design Assessment Panel (DAP) before applying for a Building Permit or starting construction.

The DAP is appointed by Jinding to oversee and implement the objectives of the Broadstead Design Guidelines.

The Design Guidelines may be changed from time to time at the DAP’s discretion. Applications will be assessed against the current version of the Design Guidelines.

Interpretation and application of these Design Guidelines is at the sole discretion of the DAP. The DAP's decisions are final. No claims shall be made to the Developer, DAP or their representatives with respect to the decisions made.

The DAP reserves the right to vary or waive the requirements of the Design Guidelines if it believes that a proposal (or an element of a proposal) that is not strictly in accordance with the wording of the Design Guidelines nonetheless makes a positive contribution to the overall objectives of the built form and/or streetscape at Broadstead.

1.2 —
The Process
(Continued)

The following steps detail the design approval process at Broadstead.

STEP 1 – PURCHASE YOUR LAND

Once you’ve purchased your preferred lot from Jinding, you can view all the relevant documentation you and your builder will need to build your new home via the Broadstead Buyers Portal.

STEP 2 – DESIGN YOUR HOME

Your builder will work with you to design your home to comply with the Broadstead Design Guidelines. Your architect, builder and/or designer will also need to take into consideration the Building Envelope Plan and Plan of Subdivision. You should also ensure that you have complied with any applicable building codes, council by—laws and other local authority requirements.

m

Please note, any guideline that is marked by an ‘m’ represents a mandatory requirement.

STEP 3 – SUBMIT YOUR PLANS FOR APPROVAL

When you are ready to make your submission to the DAP, you can lodge your house plans, colour schedules and landscape plans via the Broadstead Buyers Portal, <https://portal.broadsteadkilmore.com.au>. Usually, the designer or builder you are using will submit the plans of your house and garden for design approval. They can do all the work, and you will be notified when the approval is granted.

The submission should be in pdf form and contain all the required information detailed in the checklist. Generally, your design will be reviewed within 10 working days of your initial submission, provided that all documents are submitted correctly.

In some cases, plans may need to be resubmitted. Specific feedback on your design will be provided to help facilitate approval if this occurs. If resubmission is required, for ease of processing please ensure that any alterations are highlighted.

Once your design is assessed and approved, you and your builder will be issued with a stamped, approved set of plans.

STEP 4 – BUILDING PERMIT APPLICATION BY YOUR BUILDER

Once you’ve received your design approval, a Building Permit must be obtained from either the Shire of Mitchell or a licensed building surveyor. Your registered building surveyor will require your home design to comply with any legal or statutory requirements on the Plan of Subdivision and will require evidence of your DAP approval. If any further design modifications are made, you will be required to resubmit plans to the DAP for reassessment.



Artists Impression

1.2 —
The Process
(Continued)

STEP 5 – CONSTRUCTION

Once received, a Building Permit allows you to commence construction. In accordance with the Contract of Sale, construction of your home must commence within 6 months of settlement of your lot. Completion of your home, including garage, driveway, fencing and retaining walls, should occur within 12 months of beginning. During the construction period, construction must not pause for more than three (3) months in total.

STEP 6 – CERTIFICATE OF OCCUPANCY

The Certificate of Occupancy certifies that a home can be lived in. Your builder will typically look after this on your behalf. After receiving the Certificate of Occupancy, all front gardens must be landscaped in accordance with these guidelines within 6 months. Fencing must be constructed within 3 months.

A note for your builders, is that all kerb and footpath rectification works must be completed within 3 months of receiving your Certificate of Occupancy. Your driveway and crossover must be completed before you move into your new home. We want to ensure that the streetscapes at Broadstead are well maintained for all residents to enjoy.

1.3 —
Exemptions

You may ask the DAP to exempt your design from one or more standards. The DAP may endorse proposed works which do not comply with the standards, if it finds the works will result in a better outcome and not cause significant detriment to any neighbours. Please note that the DAP only has the power to waive some of the standards.

To apply for an exemption, note this when you complete your application. Specify the design control and explain the specific design reasons why your proposal should be exempted.

If the DAP has the power to grant a waiver of the specified control, it will apply the following four tests to your design:

- The proposal meets the general intent of the standards;
- The variation will not cause significant detriment to the streetscape or your neighbours;
- The design of the proposal is in keeping with the character of the area;
- There is no practical alternative.

If the DAP grants an exemption, it will detail in the letter of approval which standards have been waived and why.

1.4 —
Changes From The Endorsed Plans

What is built sometimes differs from that shown in the endorsed plans. If you wish to change what is built, either before or during construction, simply send the DAP revised plans for re—endorsement. These will usually be approved, with little delay.

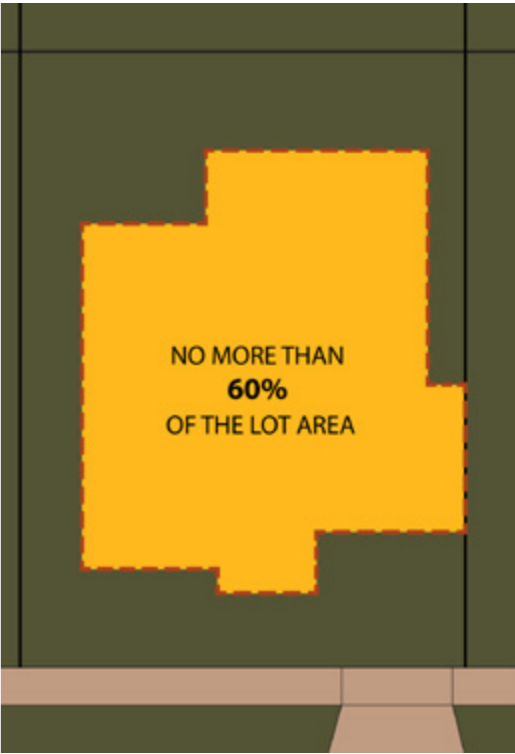
If the audit shows your house and garden differs from the plans endorsed for your lot:

- You must seek approval for the changes or reconstruct the work to accord with the endorsed plans.
- Your bond will be withheld until all non—compliances are rectified.
- You may be liable for liquidated damages.

2.0 — Lot Planning

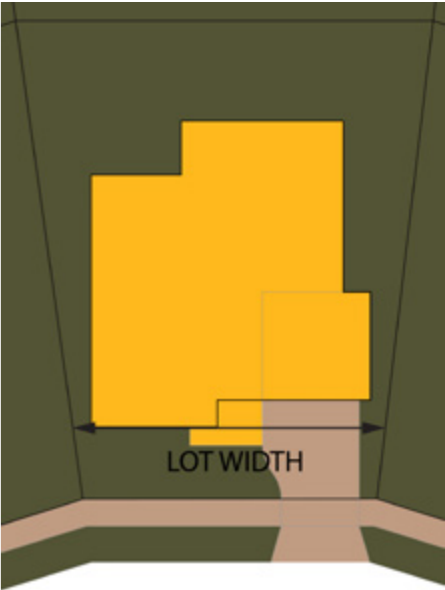
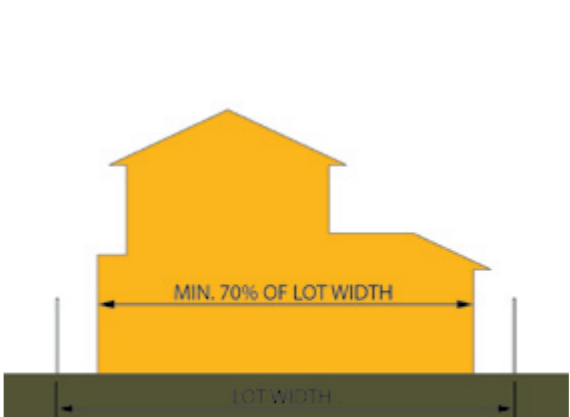
2.1 —
Lot Coverage

m The **built area** must cover no more than 60% of the lot's area.



2.2 —
Frontage Width

m The total width of the front of the building must occupy at least 70% of the width of the lot at the lot's front boundary.



2.3 — Front Setback

- The house must be set back a minimum of 6 m from the front lot boundary.

2.4 — Side & Rear Setbacks

- The house and any other buildings on a **mid—block lot** must be set back from all side and rear boundaries as shown in the tables below.

A LOT WITH ONE PUBLIC SIDE	
Height of building above <u>natural ground level</u>	Minimum distance set back from lot boundary
Less than 3.6 m	1.0 m
3.6 m to 6.9 m	1.0 m + 300 mm for every metre over 3.6 m
More than 6.9 m	2.0 m + 1 m for every metre over 6.9 m

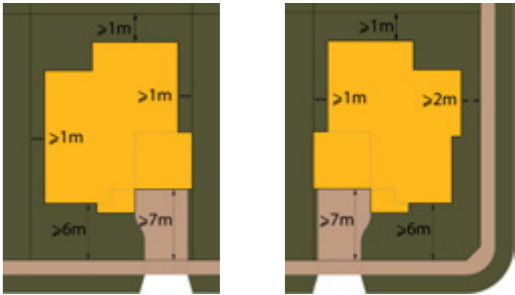
- The house and any other buildings on a **corner lot** must be set back from all side and rear boundaries as shown in the tables below.

A CORNER LOT	
Height of building above <u>natural ground level</u>	Minimum distance set back from any lot boundary abutting a <u>secondary street</u>
Less than 3.6 m	2.0 m
3.6 m to 6.9 m	2.0 m
More than 6.9 m	2.0 m + 1 m for every metre over 6.9 m

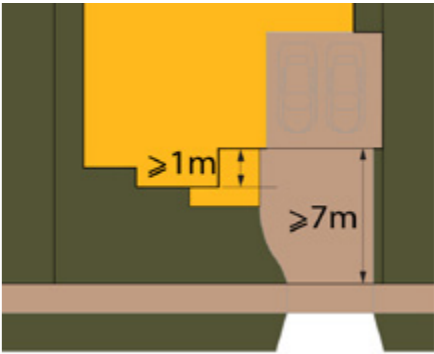


2.5 — Garage Setbacks

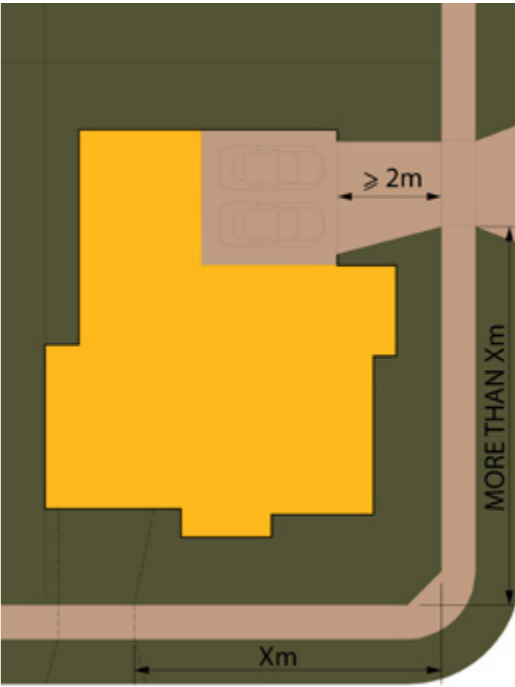
- A garage must be set back a minimum of 7 m from the front boundary of the lot.



- The front wall of a garage must be set back from the front wall of the house at least 500 mm.



- On a **corner lot**, the garage may face a **secondary street**, if:
(a) it is set back from the lot's side boundary at least 2.0 m; and
(b) it is further from the street corner than if it were on the **primary street**.



2.6 — Use Of The Setback Areas

- Entry features no higher than 3.6 m above **from finished surface level**, such as a verandah, porch, portico and balcony, may extend into the front setback up to 1.0 m.
- Eaves, gutters and fascias may extend into any setback area up to 600 mm.
- Elements such as pergolas and sunblinds may extend into side and rear setback areas up to 500 mm.

3.0 — Home Design

3.1 — Style

The style of the house must be a modern interpretation of a traditional Victorian country house. Examples of suitable houses are shown below:



Austin — by LPD



Yale on the Amira — by Metricon



Devonport — by Dennis Family Homes



Bellavue — by Porter Davis Homes



Davenport — by Metricon



Bayville — by Metricon

- Techniques to achieve this home style include:
- A visual emphasis on the habitable side of the house, created by the street-facing gable and post supported verandah. (Austin, by LBD)
 - A visual emphasis on the habitable side, emphasised by the walls in the front yard and the doubled posts to the verandah. (Yale on the Amira, by Metricon)
 - A strong focus on the front entrance, using a gable, verandah and doubled posts. (Devonport, by Dennis Family Homes)
 - The strong contrast between the colours of the roof and the walls highlights the gable over the front door. (Bellavue, by Porter Davis Homes)
 - The white weatherboards of the upper level contrast with the dark grey of the ground floor, giving a more domestic scale to the house. (Marion 34, by Metricon)
 - The strong repeated forms, tactile materials and careful colour scheme give this house a high level of visual interest. (Bayville, by Metricon)

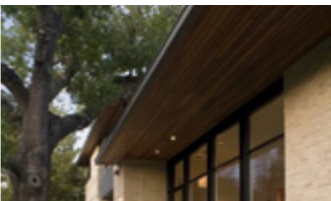
- 3.2 — Verandahs
- m Every front façade must include a column—supported verandah at least 1.8 m deep and at least 6 m wide.
 - m The verandah roof must be made from the same material as the main roof. The profile must be straight or bullnosed.
 - m The verandah columns must be at least 110 mm square, with no brackets or simple brackets.
 - m The floor of the verandah must be timber or tiles, at least 50 mm above ground level.

- 3.3 — Windows
- m The window openings in a façade facing a street must be vertically proportioned.
 - m The windows in a façade facing a street must be double-hung or casement type. Sliding windows are prohibited in a façade facing a street.
 - m Frames of windows in façades facing a street must be at least 50 mm wide, and may be made from timber or aluminium. Glazing bars on the outside of the glass, matching the depth and profile of the frame, are encouraged.
 - m The colour of the frames may be natural timber, or finished in any light to moderate tone. Dark grey or black tones are prohibited.

- 3.4 — Articulation
- m Every façade facing a street or park must be at least moderately articulated. Some examples of elements that help to articulate a façade are shown below:



Verandahs



Deep Eaves



Balconies



Recessed Doorways



Window Canopies



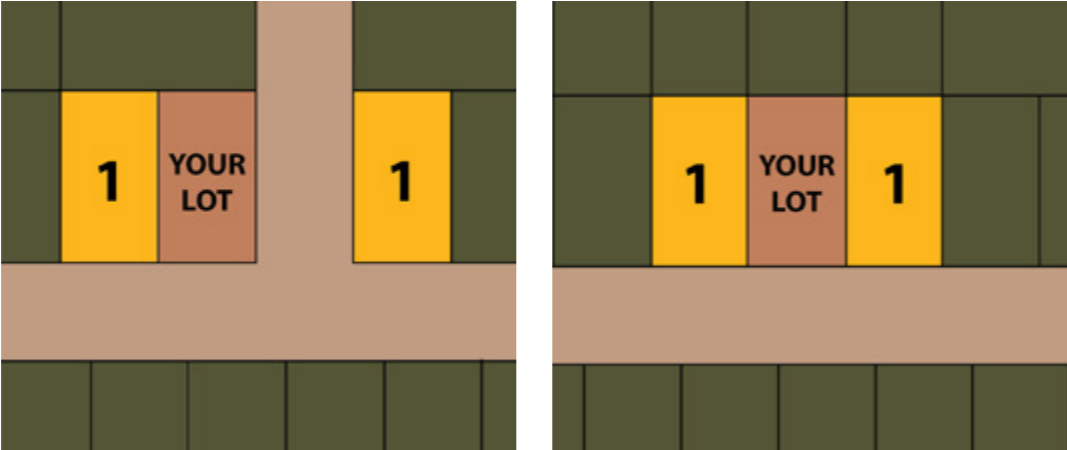
Bay Windows

- Techniques to articulate a façade include:
- Stepping the façade with recessed or projecting areas.
 - Adding a structure that gives depth to the façade, such as a verandah, bay window, balcony, awning, or sunshade.

3.5 —
Distinctive
Appearance

- m

The front façade must not be identical or very similar to the houses on the lots next door, that is, to the left and right on the same side of the street. This includes buildings constructed, under construction and in applications already received by the DAP.



- Techniques to vary the façade's appearance include:
- Alter the shape of the façade, using wall articulation, roof shape, and by adding features such as gables, verandahs and porches.
 - Change the roof and wall materials.
 - Vary the colours of roof materials, wall materials, window frames, window glass and garage doors.
 - Modify the shape, size and placement of elements such as windows, columns and doors.

3.6 -
Secondary Façade
On Corner Lots

- m

The features, details, materials and colours of a façade facing a secondary street or park must be similar to the front façade.

3.7 -
Ceiling Height

- m

Rooms fronting the Public Realm must have a minimum ground floor ceiling height of 2700 mm or 2550 mm for lots 300 m² or less.

3.8 -
Neighbour's
Privacy

- m

If a habitable room on an upper storey, or a balcony, has a view to the windows of a nearby house within 9 m horizontal distance, or to the secluded private open space of an adjoining lot within 9 m horizontal distance, the view must be totally blocked.
- Techniques to do so include:
- Set back the viewing area
 - Delete the window or balcony
 - Make the windowsill heights at least 1.7 m above floor level
 - Install obscure glazing or screening up to 1.7 m above floor level
 - Install fixed external screening

3.9 -
Prohibited
Materials

- m

The following materials must not be used in any area visible to the public:
- Glass that is reflective, frosted, coloured, stained, leadlight or patterned
 - Removable film on glass
 - Unpainted metalwork
 - Unpainted cement sheeting
 - Mouldings made from lightweight foam or fibre-reinforced concrete (FRC)
 - Infill panels above openings
 - Unscreened stumps
 - Bright colours on walls and roofs, except if used as a highlight colour on the walls, and only with DAP approval
 - Coffered or rectangular relief pattern garage doors
 - Roller shutters over windows and doors, if the roller box is visible
 - Plain, stamped or stencilled concrete
 - Painted driveways
 - Gravel driveways
 - Shiny or reflective surfaces on driveways
 - Letterboxes on a single narrow pole



Film on glass



Lightweight mouldings



Bright colour on walls



Unpainted metal work



Stamped concrete



Gravel driveway



Coffered garage door



Letterbox on a single narrow pole

3.10 — Colours

m The colours used on external walls and windows must be from the palette of muted, earthy colours shown below, or must use similar colours.

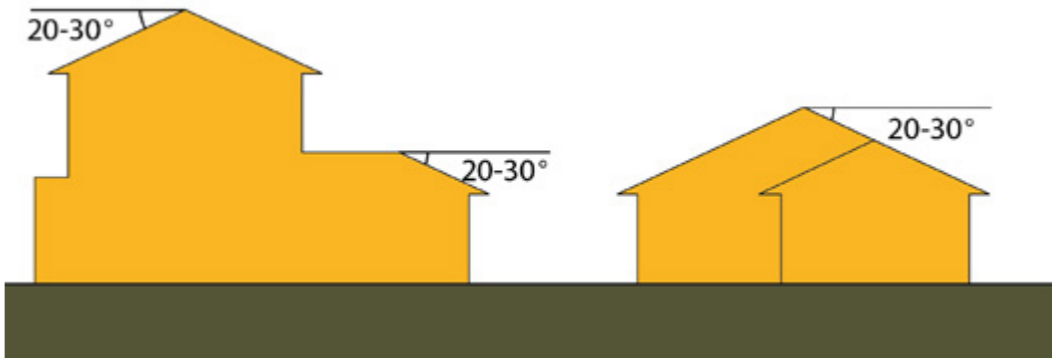


m The colour scheme of the house's exterior must have moderate tonal contrast, avoiding being very light, very dark or a strong black and white contrast.

4.0 — Roofs & Walls

4.1 — Roofs

- m** The main roof, as seen from public space, must be hipped or gabled. Other roof types, such as a mansard, dual pitch, flat, skillion or curved roof, may be considered on merit.
- m** All roof planes must have the same pitch, with the pitch being between 20-30°. Other roof types may be considered on merit.



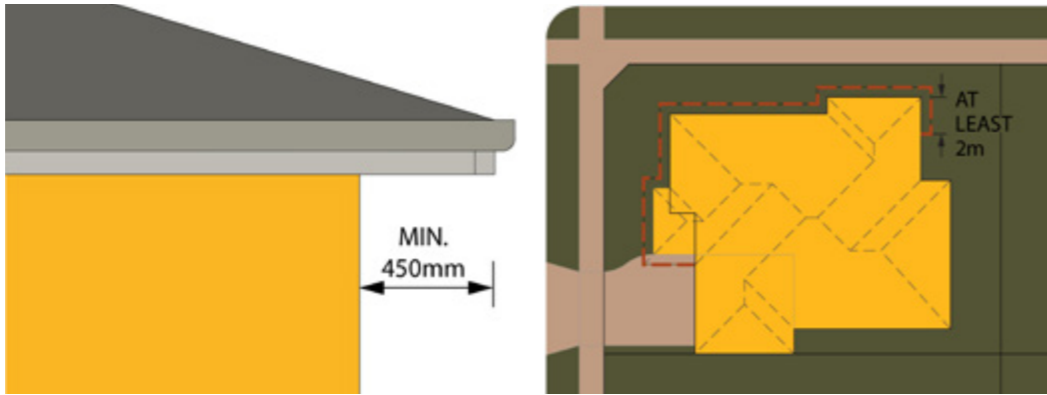
- m** A verandah roof must have a pitch of more than 12°.
- m** A skillion roof may be used at the rear of a building, with a pitch between 5-15%.
- m** The roof material must be: prefinished and coloured sheet metal (e.g. Colorbond); slate; or tiles made from concrete or clay.



- m** The colour of the roof must be moderate, avoiding bright colours.
- m** The profile of roof tiles must be flat to low. High profile tiles, such as half-round ones, are prohibited.

4.2 — Eaves

- On a single storey house, eaves at least 450 mm deep must be provided over the front façade and any façade facing a secondary street or park. They must extend along the sides of the house at least 2.0 m. Eaves do not need to be provided over the front wall of a garage or over a verandah on the same floor level.
- A gabled roof over the front façade must project from the wall at least 200 mm to the face of the bargeboard.



- On a house of two or more storeys, eaves at least 450 mm deep must be provided around the entire house.



Artists Impression

4.3 — Walls

- The front façade must be made of at least two complementary wall materials. If only two materials are used, any one material must typically cover more than 10% of the wall area, and be prominent.
- The external surface of the front façade, and of the side walls for at least 3 m behind the front façade, must be made from one or more of the following materials:

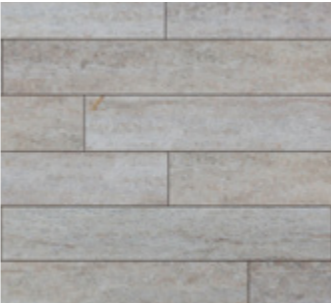
 - weatherboard;
 - face brick;
 - tiles; or
 - rendered masonry

Flat metal or cement sheets are prohibited. Other materials may be considered on merit.

Some examples of suitable materials are shown below:



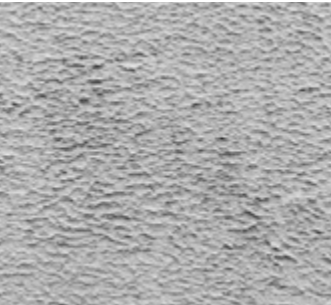
Brickwork



Tiles



Rough Render



Textured Render



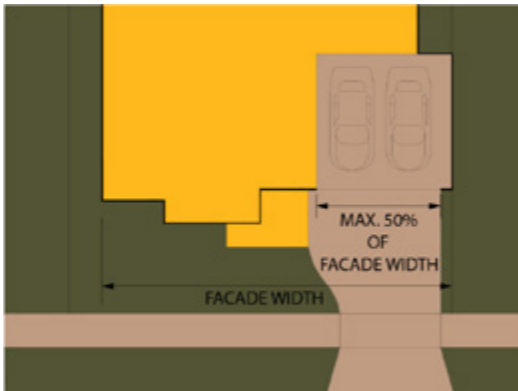
Weatherboard



5.0 — Garages & Driveways

5.1 — Garages

m The opening in the front wall of the garage in a lot with vehicle access from a street must be between 3.0 m and 6.0 m, and no wider than 50% of the width of the front façade. The width of the opening is unrestricted if vehicle access is from a lane.



m A garage must have a tilting, sectional or roller door.



m The colour of the garage door or doors must complement the front façade.



5.2 — Driveways

- m Only one driveway is permitted per allotment.
- m The driveway must be no wider than 3.0 m at the front boundary of the lot.
- m The driveway must have a matte finish, and be made from: stone; brick; in-situ concrete with an exposed aggregate finish; in-situ concrete coloured throughout with pigment; or concrete pavers.
- m The tone of the driveway must be between RGB 100, 100, 100 and RGB 200, 200, 200 (mid-grey to light grey).

RGB 100, 100, 100	RGB 200, 200, 200
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5.3 — Garden Bed Bedside Driveways

m The area between the driveway and the nearest side boundary must be a garden bed at least 500 mm wide.



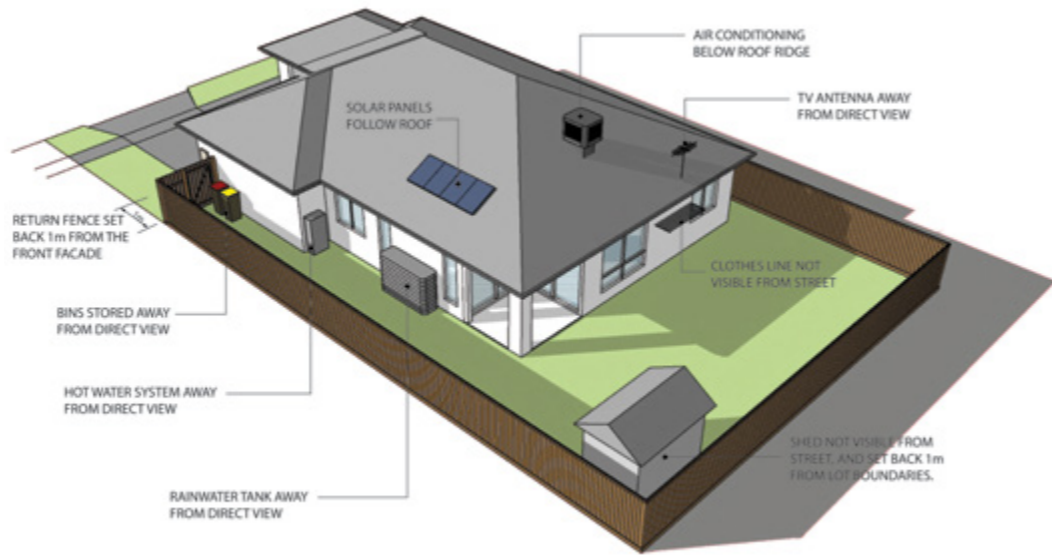
6.0 — Outbuildings & Accessories

6.1 — Outbuildings

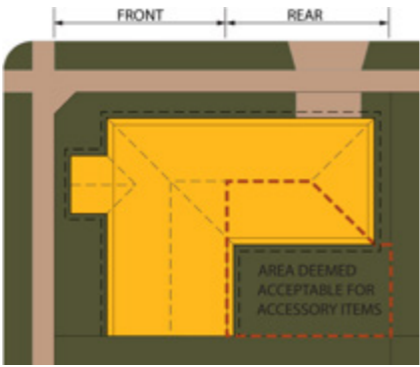
- m Outbuildings smaller than 20 m² must be no higher than 3.6 m and must be set back at least 1 m from any lot boundary.
- m Outbuildings larger than 20 m² must be constructed of the same wall and roof materials and the same colours as the house.

6.2 — Accessory Items

- m On a lot with one street frontage, **accessory items** must be inconspicuous when viewed from the street. Items will be deemed to be inconspicuous if located in the rear 50% of the lot, fully **screened**, or inside a building.



- m On a **corner lot**, any **accessory items** must be inconspicuous when viewed from all adjacent streets. Items will be deemed to be inconspicuous if it is: located in the rear 50% of the lot and on the side of the house opposite the secondary street; fully **screened**; or inside a building.



6.4 — Air Conditioning Units

- m Air conditioning units on the roof must match the colour of the roof, be positioned below the roof ridge line and not be visible from streets or **parks**.
- m External condensers of split air conditioning units, and all associated piping and cabling, must be mounted away from public view or be **screened**.
- m Items mounted on a roof, such as solar panels, or items protruding through it, such as vents, must not be on a roof plane facing a street, or on a gable roof within ten metres of the front façade.



7.0 — Outdoor Spaces

7.1 — Landscaping Of The Front Yard

- A landscape plan of the front yard must be submitted as part of the application, showing the species of plants to be used, where they are to be planted, the total number of each species, and the size of each plant, either as pot size or trunk diameter.
- At least 20% of the area of the front yard must be garden beds. Beds must be mulched with at least 25 mm depth of bark, other organic material, or stones, and edged with a long-lasting material.
- Plants in garden beds must be planted densely enough to ensure minimal visibility of mulch within two years.
- At least one **tree** must be planted in the front yard, and one in the rear yard. The trees must have a mature height of at least 5 m, and be at least 2 m high when planted.



For additional Landscaping information refer to section 9.0 Appendices. Details include model front garden designs, a materiality schedule and street hedging plan.

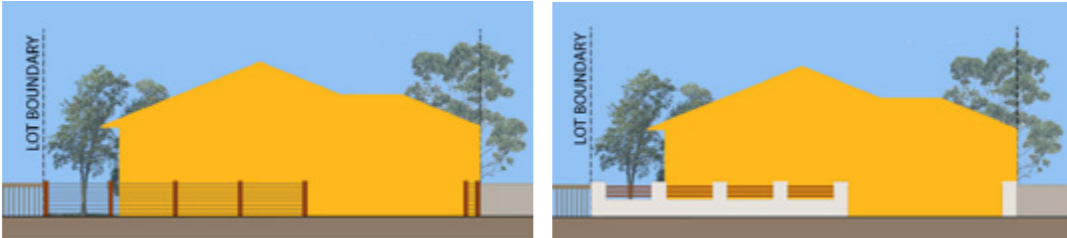
7.2 — Front Yard Fencing

The front boundary of the lot must be marked by a fence, wall, hedge, or a combination of these.

- A fence, wall or hedge up to 1200 mm high is required on the front lot line.

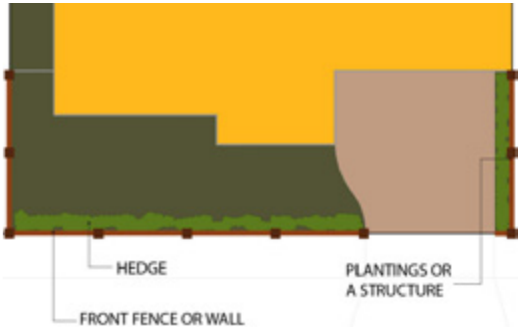


- A front fence may be made from timber or metal posts and rails, with the infill being: wooden or metal pickets or balusters; woven wire; laser-cut metal panels; or plain strand wire. It must have a plinth made from rendered masonry, stone, or wood. When viewed in elevation, the ratio of solids to void must be less than 1:2.
- A wall may be made from: face brick; rendered masonry; or solid metal panels. It must have no voids or a low proportion.



7.2 — Front Yard Fencing (Continued)

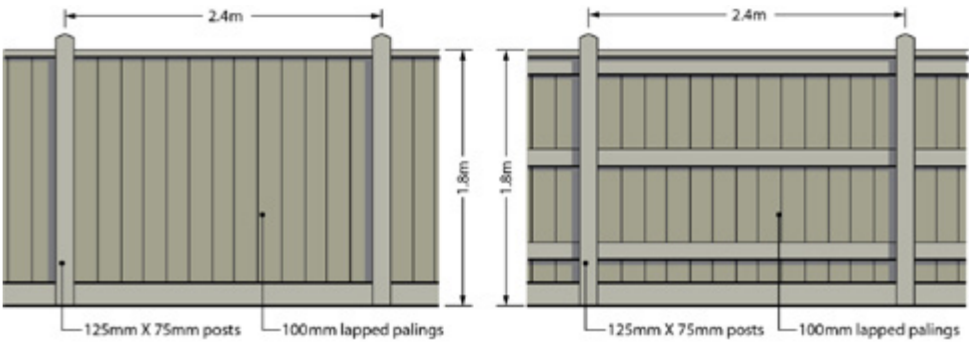
- Fencing of the rear yard for privacy must be made of timber palings and be no more than 1.8 m high above **natural ground level**.



7.3 — Rear Yard Fencing

- Fencing of the rear yard for privacy must be made of timber palings and be no more than 1.8 m high above **finished surface level**.
- Rear yard fencing must be set back at least 1 m from the nearest front corner of the house.
- The maximum combined height of a fence and **retaining wall** must be no more than 2.0 m.
- On a corner lot, the side fence next to a **secondary street** must be set back at least 4 m from the front corner of the house, or the length of the first habitable room, whichever is the greater.

This type of fence is shown below:



- Each return fence and gates must be made from 25 mm horizontal hardwood timber slats with a 10 mm gap between slats.

7.4 — Access To The Rear Yard

- Access must be provided to the rear yard by a gate in the return fence or by a rear door in the garage.

7.5 — Private Open Space

- Where possible, private open space must face north, east or west.

7.6 — Swimming Pool

A swimming pool must not be prominent if visual from the public realm. The pool must be fenced to comply with safety regulation, including to block physical access and not be climbable.

7.7 — Letterbox

- The letterbox must be traditional in style, substantial, and constructed from metal, timber, brick or rendered masonry. It must clearly display the street number.



Simple pillar letterboxes

Fence and wall inserts

8.0 — A Community For Every Generation

8.1 — Envrionmental Sustainability

A. LIVEABILITY CONSIDERATIONS

Applicants are encouraged to submit designs that are environmentally responsible. The orientation of your lot will determine the best siting of the house on the lot. A building's orientation plays a large part in achieving the optimum solar access for your home during winter. Lots on the north side of a street will have sunny backyards – good for private outdoor living. Lots on the south side of a street will have sunny front yards – good for show piece gardens. Lots facing east-west will have sunny side yards – these houses should be sited to leave the largest possible outdoor living space along the northern boundary.

Dwellings can become more liveable by considering the orientation of rooms and windows, shading of windows and walls, ceiling heights, sustainable building materials, cross flow ventilation, covered open spaces, insulation and water efficient fixtures. Eave design can act as excellent shading devices during warmer months. Implementing these features can also result into substantial financial savings for the homeowner. Double storey homes must respect the privacy of neighbouring dwellings, including potential overshadowing issues that may arise as a result of siting choices. It is the responsibility of applicants with double storey proposals to ensure their design has demonstrated these factors and to receive approval from the relevant authority and/or building surveyor prior to construction.

B. SOLAR HEATING PANELS

Solar Heating Panels can help generate renewable electricity by converting energy from the sun. These are strongly encouraged at Broadstead because they offer a relatively cost effective way to reduce your outgoing utility bills, while also benefiting the environment.

C. RAINWATER TANKS

Rainwater storage is encouraged at Broadstead and can help reduce your outgoing utility bills, while providing water for your garden. To help calculate the size of water storage that you may require please contact the Department of Sustainability and Environment for appropriate storage requirements in relation to the collection area provided.

D. RECYCLED WATER

Recycled water will be available for non-drinking purposes such as toilet flushing and garden usage. To reduce consumption of potable water, residents are required to connect all toilets and two garden taps (front and rear) to the recycled water system.

E. ENERGY RATINGS

It is the applicants' responsibility when building a home to comply with Victoria's energy rating requirements. Dwelling designs should be assessed by a licensed energy rating company and they in turn will make recommendations regarding insulation and other resource saving measures. Dwellings must achieve the minimum standard as currently legislated.

Visit sustainability.vic.gov.au to learn more about the sustainable initiatives you can consider in your new home.

8.2 — Creating Good Neighbours

You and the owners of the lots abutting yours are likely to be neighbours for years. At Broadstead, we've created a community where neighbours can connect and build good relationships at the local parks and walking trails, or even via a friendly conversation over the fence.

This guide has been created to help all new residents settle into their new community and to provide some tips to create a space where all feel welcomed.

A. PARKING

Most land lots and homes have been designed to accommodate two vehicles. Vehicles are not permitted in your front yard, on footpaths, or on vacant land. Driveways can be used to park cars but are not intended for the long-term storage of boats, caravans, or containers. These are also not permitted to be parked on the street.

B. GARDENS

To keep Broadstead looking great, a landscape design standard has been created. Front gardens should be kept tidy with your lawn, including verges, kept mown and free of weeds. Garden beds and plants should also be maintained regularly.

C. WASTE

Rubbish bins are to be kept behind fences or away from public view, except on the day of rubbish collection. Once your rubbish has been collected, please ensure prompt collection of your bins and that they are once again stored out of public view.

D. LAUNDRY

Clothes drying facilities must be located away from, or screened, from public view.

E. NOISE

We're a community of friends and neighbours. In the interest of positive neighbour relations, please consider those around you and always keep noise to a respectable level.

F. WINDOW FITTINGS

Homes should be fitted with curtains, blinds, or shutters. Please ensure visually prominent security screens (e.g., diamond grills), or vertical blinds are not installed on doors or windows facing any street frontage.

G. FENCING

Fencing is the responsibility of the property owners. If you share a fence with a neighbour, it's a good idea to consult them on the cost and timing of any shared boundary fences and retaining walls. That way you can make arrangements that suit both households.

Due to privacy laws, Jinding can not disclose purchaser details, but you can request this information from the Mitchell Shire Council website. Throughout the construction of your land lots, Jinding will host 'welcome events' which are a great opportunity to meet your neighbours. Another alternative, you can agree to pass on your details to your neighbours through the sales team or customer relations, and we can provide your details.

Please contact Customer Relations at customerrelations@jinding.com.au with your best contact details and the lots you wish to get in contact with.

H. ADDITIONALLY

Any changes that you make on your lot that may impact your neighbours land should be discussed with your neighbour first. This includes changes to soil levels on the boundary of the lot. It is also your responsibility to not let increased volumes of stormwater discharge into other lots.

Maintaining appealing streetscapes is essential to Broadstead even during the construction phase. We ask that you consider the following information and ensure your builder is also aware of the expectations so that Broadstead always presents well and is welcoming to its visitors. We thank you in advance for your cooperation.

A. LOT MAINTENANCE

While waiting for construction to commence on your land lot, you must not allow any rubbish including site excavations and building materials to accumulate. Please maintain the lot to avoid excessive growth of grass or weeds.

B. CONSTRUCTION

Please ensure your building site is clean and safe at all times. Waste generated during construction is significant, with the costs often passed on to the home-owner. We encourage you to talk to your builder about how to reduce waste from construction of your house. Adopting a waste management strategy can reduce the amount of waste. Sorting and recycling can reduce the waste going to the tip.

Your builder should provide a secure enclosure to contain rubbish for the duration of your construction period. Bins, construction materials and site facilities should not impede on neighbouring properties, roads, footpaths, or public spaces.

C. EROSION AND SEDIMENT CONTROLS

It is important that construction activities do not have an adverse impact on the significant environment and natural features. Your builder will be required to implement appropriate erosion and sediment control measures on your lot to avoid adverse impacts

D. COUNCIL ASSETS

Please ensure the council land directly surrounding your lot is not damaged during your home construction.

The road and verge in front of your lot including the concrete footpath, and services such as water meters, telecommunication boxes and electrical pillars are assets owned by Mitchell Shire Council or service authorities.

These assets cannot be altered without the correct approval from council or the relevant service authority. Council inspects these assets at the completion of construction, when assessing the Certificate of Occupancy to ensure no damage or alteration has occurred. It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.

The purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserves or any waterways.

Please also protect any street trees, nature strips and kerbs during the building works.

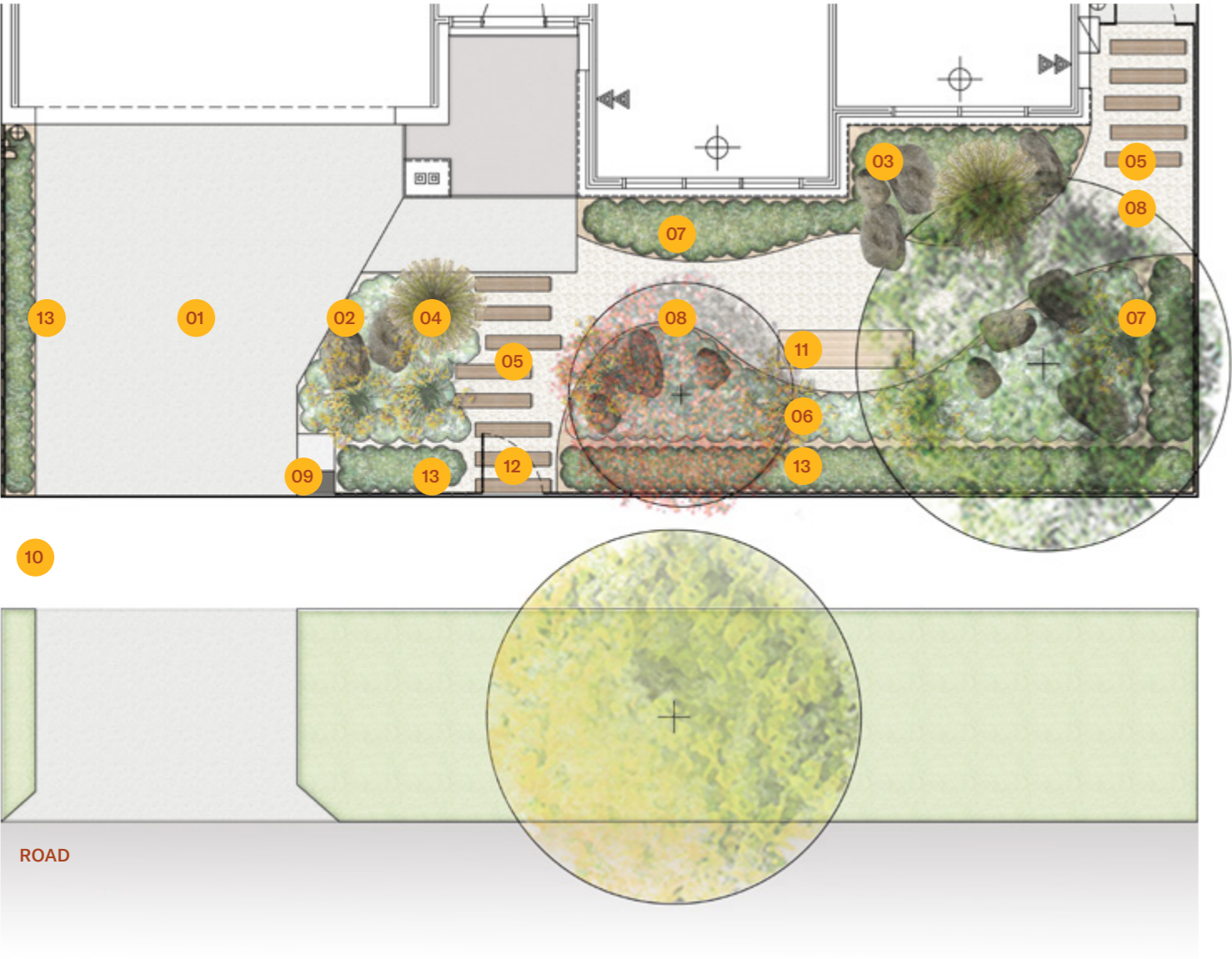
D. REPORT ILLEGAL DUMPING OR DAMAGED PROPERTY

To help minimise rubbish on site, if you witness illegal dumping of rubbish, soil, concrete etc, please take a photo and submit a report to the relevant local authority via the Snap, Send, Solve app. www.snapsendsolve.com

9.0 — Appendices

9.1 —
Native Style Garden

9.1A —
Native Style Garden
Model Front Garden Designs



- 01 Driveway and entry paving

02 Low level planting

03 Feature boulders

04 Feature planting

05 Timber sleeper or concrete steppers through gravel
- 06 Ground cover planting

07 Medium height planting

08 Small tree

09 Letterbox

10 Footpath
- 11 Bench seat

12 Front entry gate & fence

13 Hedge planting

9.1B —
Native Style Garden
Planting Schedule

- N Native Species

☀ Partial or Full Sun

🌿 Suitable for pot planting
- 🌸 Flowering Display

💧 Requires regular water/keep moist

💧 Requires well drained soils

List A - Ground Covers (140mm Pots at 850mm CTS)

- Grevillea obtusifolia**
Grevillea Gingin Gem
Mature Size: 0.3 X 2.0M

N ☀ 💧
- Casuarina glauca 'Cousin It'**
Cousin It Groundcover
Mature Size: 0.2 X 1.5M

N ☀ 💧
- Eremophila glabra 'Kalbarri Carpet'**
Prostrate Emu Bush
Mature Size: 0.4 X 1.5M

N ☀ 💧
- Seneci serpens**
Dwarf Blue Chalk Sticks
Mature Size: 0.2 X 0.6M

N ☀ 💧 🌿

List B - Low Planting (140mm Pots at max 400mm spacings)

- Anigozanthos 'Ruby Velvet'**
Kangaroo Paw
Mature Size: 0.6 X 0.6M

N ☀ 💧
- Correa glabra 'Ivory Lantern'**
Rock Correa
Mature Size: 0.6 X 0.6M

N ☀ 💧
- Conostylis candicans**
Cotton Heads
Mature Size: 0.3 X 0.4M

N ☀ 💧 🌿
- Poa labillardieri 'Eskdale'**
Tussock Grass
Mature Size: 0.7 X 0.5M

N ☀ 💧

List C - Medium Planting (Min 5L Pots at max 800mm spacings)

- Acacia cognata 'Limelight'**
Dwarf River Wattle Limelight
Mature Size: 0.8 X 1.0M

N ☀
- Correa glabra 'Ivory Lantern'**
Rock Correa
Mature Size: 0.6 X 0.6M

N ☀
- Westringia 'Grey Box'**
Coastal rosemary
Mature Size: 0.4 X 0.4M

N ☀ 💧
- Banksia ashbyi - Ashby's Banksia**
Banksia Ashbyi Dwarf
Mature Size: 0.8 X 1.0M

N ☀ 💧
- Callistemon viminalis 'Red Alert'**
Weeping Bottlebrush
Mature Size: 2.0 X 1.5M

N ☀ 💧
- Syzygium australe 'Bush Christmas'**
Lilly Pilly
Mature Size: 2.5 X 2.0M

N ☀ 💧

- N

Native Species
- ☀️

Partial or Full Sun
- 🪴

Suitable for pot planting
- 🌸


Flowering Display
- 💧

Requires regular water/keep moist
- 💧

Requires well drained soils

9.1B — (Cont.)
Native Style Garden
Planting Schedule


List C - Medium Planting Continued (Min 5L Pots at max 800mm spacings)



**Grevillea
'Spirit Of Anzac'**
Grevillea
Mature Size: 2.5 X 2.0M

N

💧




**Westringia
'Aussie Box'**
Coastal rosemary
Mature Size: 0.8 X 0.8M

N

☀️

💧




**Adenanthos
'Pencil Perfect'**
Woolly Bush
Mature Size: 2.5 X 2.0M

N

☀️

💧

List D - Feature Plants (Minimum 8L Pot size)




**Xanthorrhoea
resinosa**
Small Grass Tree
Mature Size: 0.6 X 0.6M

N

☀️

💧




**Leucophyta
brownii**
Cushion Bush
Mature Size: 1.0 X 1.0M

N

☀️

🌸




**Doryanthes
excelsa**
Gynea Lily
Mature Size: 2.5 X 1.5M

N

☀️

🌸



**Anigozanthos
'Yellow Gem'**
Kangaroo Paw
Mature Size: 1.5 X 1.0M

N

💧

🌸

List D - Small Trees (Minimum 45L Pot size)



**Xanthorrhoea
resinosa**
Lightwood
Mature Size: 7.0 X 5.0M

N

☀️

💧



**Eucalyptus
Caesia**
Silver Princess
Mature Size: 7.0 X 4.0M

N

☀️

💧

🌸



**Eucalyptus mannifera
'Little Spotty'**
Dwarf Brittle Gum
Mature Size: 7.0 X 5.0M

N

💧

🌸



**Eucalyptus victrix
'Little Spotty'**
Coolibah
Mature Size: 7.0 X 5.0M

N

💧

🌸



**Eucalyptus pulverulenta
'Baby Blue'**
Silver-leaved mountain gum
Mature Size: 6.0 X 3.0M

N

💧

🌸



**Melaleuca
viridiflora**
Broad-leaved paperbark
Mature Size: 6.0 X 3.0M

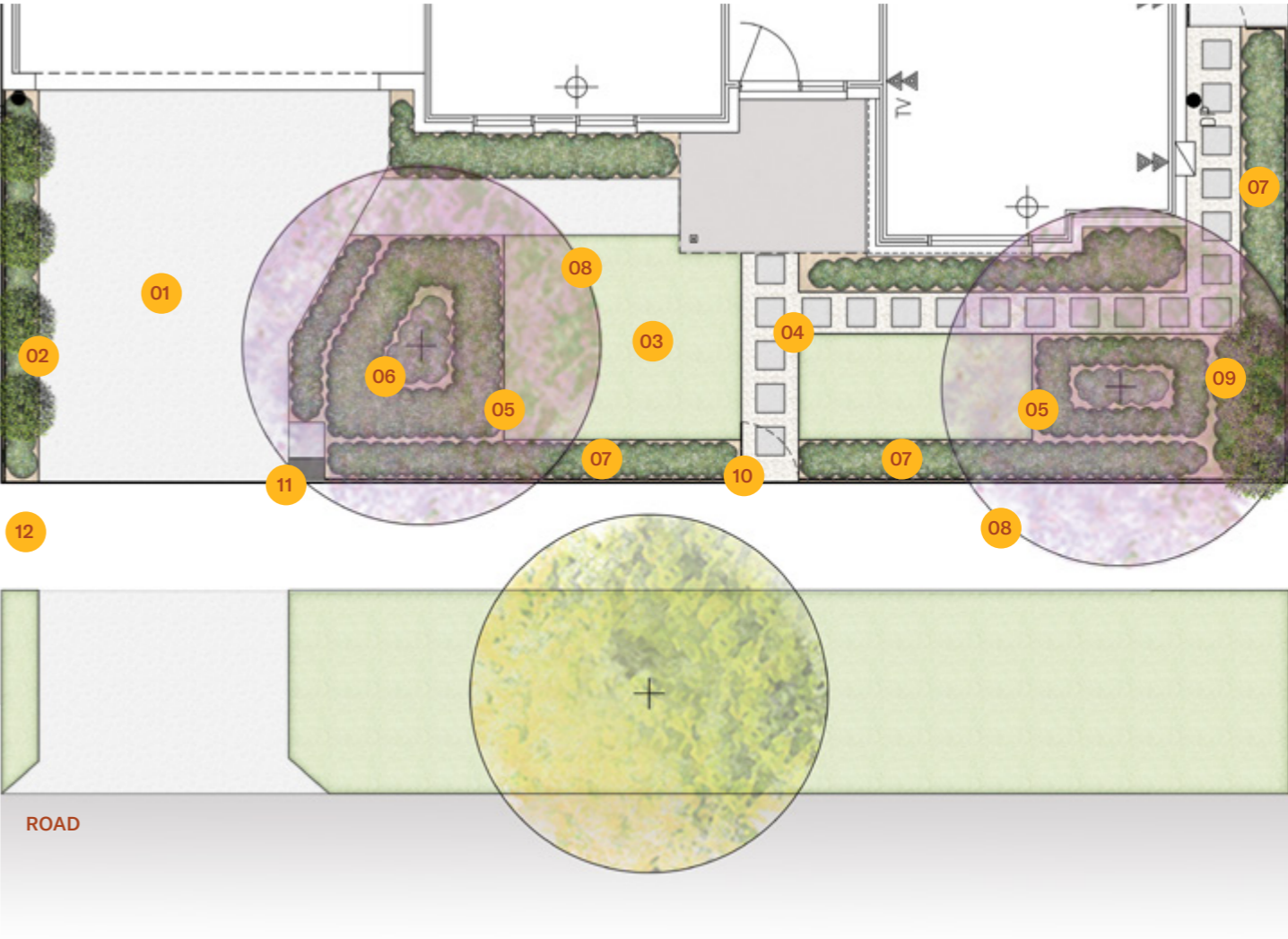
N

💧

🌸

9.2 —
Contemporary Style Garden

9.2A —
Contemporary Style Garden
Model Front Garden Designs



- 01

Driveway and entry paving
- 02

Medium height planting
- 03

Turf area
- 04

Concrete steppers with pebbles or gravel
- 05

Edging between garden bed and turf
- 06

Ground cover planting
- 07

Hedge planting
- 08

Small tree
- 09

Feature planting
- 10

Front entry gate & fence
- 11

Letterbox
- 12

Footpath

- N

Native Species
- ☀️

Partial or Full Sun
- 🪴

Suitable for pot planting
- 🌸


Flowering Display
- 👉

Requires regular water/keep moist
- 💧

Requires well drained soils

9.2B —
Contemporary Style Garden
Planting Schedule


List A - Ground Covers (140mm Pots at 850mm CTS)

- 

Grevillea obtusifolia
Grevillea Gingin Gem
Mature Size: 0.3 X 2.0M

N


☀️

💧
- 

Casuarina glauca 'Cousin It'
Cousin It Groundcover
Mature Size: 0.2 X 1.5M

N


☀️

💧
- 

Eremophila glabra 'Kalbarri Carpet'
Prostrate Emu Bush
Mature Size: 0.4 X 1.5M

N

☀️

💧
- 

Westringia 'Coastal Creeper'
Coastal Creeper rosemary
Mature Size: 0.3 X 0.7M

N

☀️

💧

List B - Low Planting (140mm Pots at max 400mm spacings)

- 

Westringia 'Grey Box'
Coastal rosemary
Mature Size: 0.4 X 0.4M

N

☀️

💧
- 

Lomandra longifolia 'Evergreen Baby'
Spiny Head Mat Rush
Mature Size: 0.4 X 0.4M

N

☀️

💧
- 

Conostylis candicans
Cotton Heads
Mature Size: 0.3 X 0.4M

N

☀️

💧

🌸
- 


Poa labillardieri 'Eskdale'
Tussock Grass
Mature Size: 0.7 X 0.5M

N

☀️


💧

List C - Medium Planting (Min 5L Pots at max 800mm spacings)

- 


Acacia cognata 'Limelight'
Dwarf River Wattle Limelight
Mature Size: 0.8 X 1.0M

N

☀️
- 


Viburnum odoratissimum 'Dense Fence'
Sweet Viburnum
Mature Size: 2.5 X 2.0M

☀️

💧
- 

Limonium 'Perezii Blue'
Sweet Viburnum
Mature Size: 2.5 X 2.0M


☀️

💧
- 

Rosmarinus officinalis 'Benenden Blue'
Rosemary Benenden Blue
Mature Size: 1.0 X 1.0M

☀️


🪴

🌸
- 

Kniphofia uvaria
Red hot poker
Mature Size: 0.8 X 0.5M

N

☀️

💧
- 

Syzygium australe 'Bush Christmas'
Lilly Pilly
Mature Size: 2.5 X 2.0M

N

☀️

💧

- N

Native Species
- ☀️

Partial or Full Sun
- 🪴

Suitable for pot planting
- 🌸

Flowering Display
- 👉

Requires regular water/keep moist
- 💧

Requires well drained soils

9.2B — (Cont.)
Contemporary Style Garden
Planting Schedule

List C - Medium Planting Continued (Min 5L Pots at max 800mm spacings)

- 

Raphiolepis indica 'Oriental Pearl'
Oriental Pearl Indian Hawthorn
Mature Size: 0.8 X 1.0M

☀️

👉

💧
- 

Acanthus mollis
Oyster Plant
Mature Size: 0.8 X 1.0M

☀️

👉
- 


Euphorbia characias subsp. wulfenii
Mediterranean Spurge
Mature Size: 0.8 X 1.0M

☀️

💧

🌸


List D - Feature Plants (Minimum 8L Pot size)

- 

Photinia x fraseri
Hedging Photinia
Mature Size: 1.5 X 2.5M


☀️

💧

🌸
- 

Laurus nobilis 'Baby Bay'
Baby Bay (clipped)
Mature Size: 2.0 X 1.0M


☀️

🪴
- 

Doryanthes excelsa
Gymea Lily
Mature Size: 2.5 X 1.5M

N

☀️


🌸
- 

Furcraea foetida variegata
Mauritius Hemp Jet Stream
Mature Size: 1.5 X 1.5M

☀️


💧

List D - Small Trees (Minimum 45L Pot size)

- 

Waterhousea floribunda
Weeping Lilly Pilly
Mature Size: 7.0 X 4.0M

☀️


💧
- 

Cupaniopsis anacardioides
Tuckaroo
Mature Size: 8.0 X 5.0M

N


☀️

👉

💧
- 

Gleditsia triacanthos 'Sunburst'
Honey Locust
Mature Size: 8.0 X 5.0M


☀️

💧
- 

Bauhinia x blakeana
Deep Purple Orchid Tree
Mature Size: 4.0 X 3.0M

☀️

💧

🌸
- 

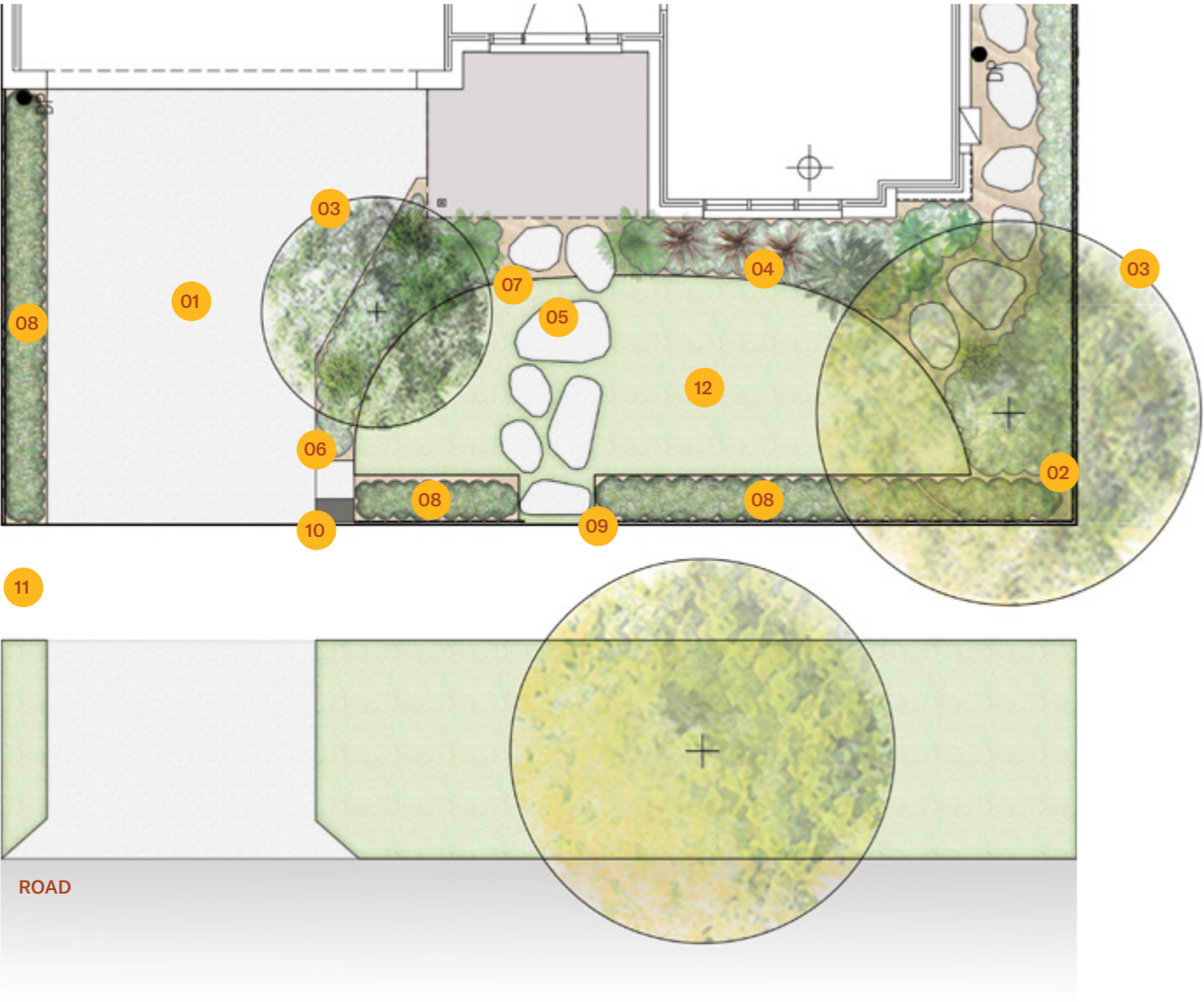
Magnolia grandiflora 'Teddy Bear'
Magnolia Teddy Bear
Mature Size: 4.0 X 2.5M

☀️

💧

9.3 —
Cottage Style Garden

9.3A —
Cottage Style Garden
Model Front Garden Designs







- 01 Driveway and entry paving
- 02 Low level planting
- 03 Small tree
- 04 Feature planting
- 05 Concrete steppers
- 06 Ground cover planting
- 07 Edging between garden bed and turf
- 08 Hedge planting
- 09 Front fence
- 10 Letterbox
- 11 Footpath
- 12 Turf area



9.3B —
Cottage Style Garden
Planting Schedule

- N Native Species
- Partial or Full Sun
- Suitable for pot planting
- Flowering Display
- Requires regular water/keep moist
- Requires well drained soils


List A - Ground Covers (140mm Pots at 850mm CTS)

- | | | | |
|---|---|---|--|
| 
Grevillea obtusifolia
<i>Grevillea Gingin Gem</i>
Mature Size: 0.3 X 2.0M | 
Trachelospermum jasminoides
<i>Chinese Star Jasmine</i>
Mature Size: 0.4 X 2.0M | 
Eremophila glabra 'Kalbarri Carpet'
<i>Prostrate Emu Bush</i>
Mature Size: 0.4 X 1.5m | 
Westringia 'Coastal Creeper'
<i>Coastal Creeper rosemary</i>
Mature Size: 0.3 X 0.7M |
| N ☀️ 💧 | ☀️ 💧 🌸 | N ☀️ 💧 | N ☀️ 💧 |

List B - Low Planting (140mm Pots at max 400mm spacings)

- | | | | |
|---|---|--|--|
| 
Westringia 'Grey Box'
<i>Coastal rosemary</i>
Mature Size: 0.4 X 0.4M | 
Origanum vulgare
<i>Oregano</i>
Mature Size: 0.5 X 1.0M | 
Conostylis candicans
<i>Cotton Heads</i>
Mature Size: 0.3 X 0.4M | 
Alternanthera dentata 'Little Ruby'
<i>Little ruby</i>
Mature Size: 0.4 X 0.8M |
| N ☀️ 💧 | ☀️ 🌿 💧 | N ☀️ 💧 🌸 | N ☀️ 💧 |

List C - Medium Planting (Min 5L Pots at max 800mm spacings)

- | | | | | | |
|--|--|--|--|---|---|
| 
Eremophila Nivea 'Spring Mist'
<i>Emu Bush Spring Mist</i>
Mature Size: 1.2 X 1.2M | 
Lomandra x 'Lime Tuff'
<i>Lime Tuff Mat-rush</i>
Mature Size: 0.5 X 0.5M | 
Acacia cognata 'Limelight'
<i>Dwarf River Wattle Limelight</i>
Mature Size: 0.8 X 1.0M | 
Viburnum odoratissimum 'Dense Fence'
<i>Sweet Viburnum</i>
Mature Size: 2.5 X 2.0M | 
Lavandula pedunculata 'Sensation Rose'
<i>French Lavender</i>
Mature Size: 1.0 X 0.6M | 
Dietes grandiflora
<i>Wild Iris</i>
Mature Size: 1.0 X 1.0M |
| N | N ☀️ | N ☀️ | ☀️ 💧 | 💧 🌸 | ☀️ 💧 🌸 |

- N

Native Species
- ☀️

Partial or Full Sun
- 🪴

Suitable for pot planting
- 🌸


Flowering Display
- 💧

Requires regular water/keep moist
- 💧

Requires well drained soils


9.3B — (Cont.)
Cottage Style Garden
Planting Schedule

List C - Medium Planting Continued (Min 5L Pots at max 800mm spacings)




**Dianella tasmanica
'Tasred'**
Tasred Flax Lily
Mature Size: 0.7 X 0.7M

☀️



**Lomandra longifolia
'Katrinus'**
Katrinus Mat-rush
Mature Size: 0.7 X 0.7M


N ☀️



**Acca sellowiana
'Coolidge'**
Pineapple Guava
Mature Size: 2.5 X 2.0M


💧

List D - Feature Plants (Minimum 8L Pot size)




**Dianella
caerulea**
Blue Flax-Lily
Mature Size: 0.5 X 0.5M

N ☀️




Aloe plicatilis
Fan Aloe
Mature Size: 1.5 X 1.2M

☀️ 💧




**Laurus nobilis
'Baby Bay'**
Baby Bay
Mature Size: 2.0 X 1.5M

☀️ 🪴



Agave attenuata
Century Plant
Mature Size: 0.7 X 0.7M


☀️



Photinia x fraseri
Hedging Photinia
Mature Size: 1.5 X 2.5M


☀️ 💧 🌸

List D - Small Trees (Minimum 45L Pot size)




**Cupaniopsis
anacardioides**
Tuckaroo
Mature Size: 8.0 X 5.0M

N ☀️ 🪴 💧




**Gleditsia triacanthos
'Sunburst'**
Honey Locust
Mature Size: 8.0 X 5.0M

☀️ 💧



**Olea europaea
'Tolley's Upright'**
Upright Olive
Mature Size: 5.0 X 3.0M

💧



Citrus x 'Meyer'
Meyer Lemon
Mature Size: 3.0 X 2.0M

☀️ 💧 🪴

9.4 —
Materiality Schedule

Garden Edging



Timber edging. Treated pine garden edging or aluminium garden edging 'formboss' or similar.



Hot dipped galvanised finish



Rusted 'corten' steel finish

Aggregate Gravel Mulch



Concept image




Pea Gravel (14 mm Dia) Mulch

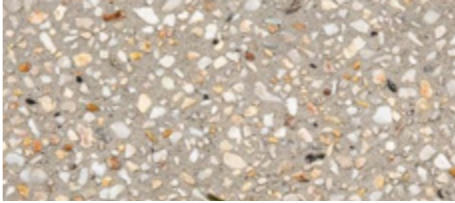


Sand Gravel (15 mm Dia) Mulch


Pre Cast Concrete Steppers



Concept image




Pre cast exposed aggregate concrete paver (600 x 600 mm)




Pre cast exposed aggregate concrete paver -alternate colour (600 x 600 mm)


Timber Sleepers



Concept image



Concept image



Treated pine sleepers

Stone Boulder



Concept image



Granite stone boulder (400-700 mm dia)



Bluestone stone boulder (400-700 mm dia)

Crazy Pav Stone Steppers



Concept image



Bluestone organic stepper (600 mm dia. min)

Compacted Gravel Path



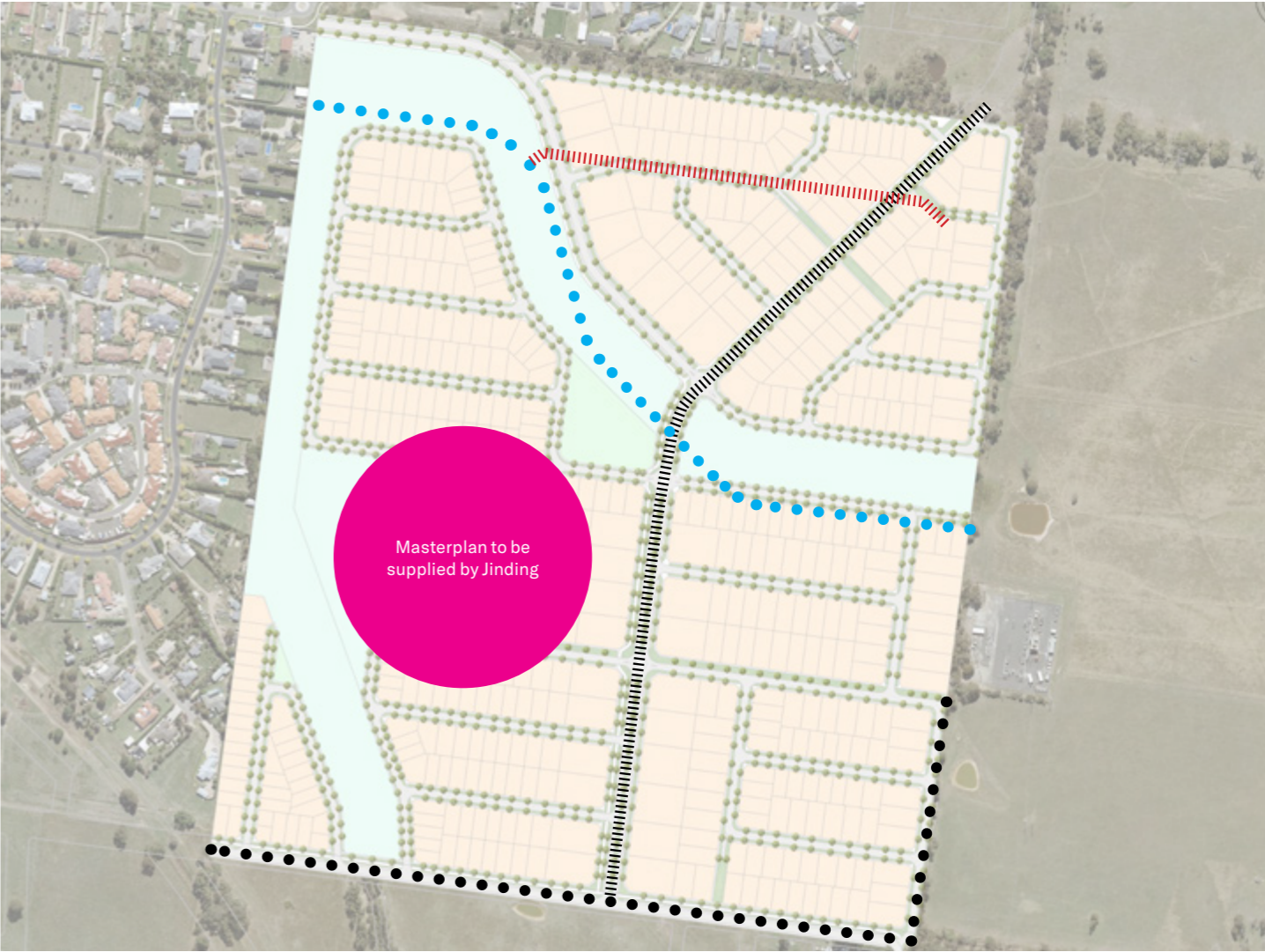
Concept image



Concrete consolidated and compacted 'Tuscan Toppings'

9.5 —
Street Hedging Plan

Picturesque streetscapes and generous front gardens set the scene for Broadstead. To foster a high standard of presentation across the masterplan selected streets will be framed by feature hedges and shrubs.



Hedges



Acca sellowiana
'Coolidge'

Pineapple Guava
Mature Size: 2.5 X 2.0M



Rosmarinus
officinalis

Rosemary
Mature Size: 1.2 X 1.0M



Viburnum odoratissimum
'Dense Fence'

Sweet Viburnum
Mature Size: 2.5 X 2.0M



Syzygium australe 'Bush
Christmas"

Lilly Pilly
Mature Size: 2.5 X 2.0M





While this brochure reflects the proposed development at the time this brochure was created, the information it contains should be used as a general guide only. The representations of the development are artistic impressions only. In particular, the designs, plans, images, view lines, dimensions, layout, sizes and areas, facilities, amenities, infrastructure, number of lots, the configuration of these and other information contained in this brochure, the marketing display suite, internet site, videos, computer applications and all plans and schedules (Property Information) may change depending on a range of variable factors including, but not limited to, council building approvals and planning consents, market conditions, finance and government and municipal requirements. As a result, the Property Information is preliminary only and subject to change without notice as the development progresses. This brochure does not constitute part of an offer or contract or consulting relationship. We recommend that you undertake your own enquiries, obtain independent legal advice and confirm the current Property Information at the time you enter into any purchase contract. JD Kilmore Pty Ltd ACN 650 967 025 (Developer) and its associated entities do not make any representations or give any warranties that the information set out in this brochure is or will remain accurate or complete at all times and, to the maximum extent possible under law , expressly disclaim all liability relating to, or resulting from, any use or reliance on the information. Printed September 2022.

