



# Builder Design Guidelines

VERSION 1

Mirradale

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# Vision

Mirrardale takes its cues from some of Australia’s best coastline and connects with exceptional natural surroundings. With the majestic Ninety Mile Beach and Gippsland Lakes at your doorstep, this is a fresh opportunity for you to create an inspirational lifestyle.

Mirrardale is designed with a considered masterplanned approach. Encompassing all the advantages of a contemporary development, Mirrardale is soon to be the premier address in Lakes Entrance, backed by an award-winning development team.

Everything about the community has been well thought out, from natural orientation, amenities and the materials chosen to ensure a quality way of life that caters for all aspirations. Such a unique site deserves a unique approach and every home at Mirrardale will be carefully considered so that it makes the most of its setting.

# Introduction

This booklet details the design standards that apply to all allotments for detached houses at Mirradale.

These design standards ensure high standards of development throughout the entire estate and so protect you and your investment in buying here. They also allow a wide variety of houses to exist in harmony with each other. Together, you and the other owners at Mirradale will create beautiful streetscapes. Without design standards, the houses next door and along your street could devalue your house.

All development on your lot needs the approval and endorsement of the Mirradale Design Review Panel. This includes:

- The house;
- Colours of the roof and external walls;
- Minor structures such as sheds, pools, verandahs, decks, gazebos and pergolas;
- Ancillary items such as hot water services, photovoltaic panels, satellite dishes and water tanks;
- Fences;
- Driveways;
- The location of garden beds and trees;
- Plant species.

By purchasing an allotment at Mirradale, you are making a promise to your neighbours and the community that you will uphold this vision by complying with these design standards. By signing a contract of sale for your allotment, you commit to complying with these standards during and after the construction of your house.

Standards apply to your lot for the maximum height of your house and how close it can be to the lot boundaries. This defines where your house can be placed on the lot, and how high the walls and roof can be. This gives you certainty on the development potential of your lot and certainty on what can be built on the lots around yours.

## OBTAINING DESIGN APPROVAL

You can start to build your new home after three straightforward steps:

1. Work with your designer or builder to site and design your home in accordance with these design standards.
2. Lodge your house design through the Mirradale Design Review Panel (DRP) portal to have your design approved and endorsed.
3. Obtain a building permit from a building certifier or the Council.

Your designer or builder need this code to design and site your house and garden. Please provide this to them as soon as you start talking with them.

House plans and a completed design checklist must be sent to the DRP for approval. The DRP checks that the proposed development complies with the design standards. If so, it issues an approval.

Processing of the first whole-of-lot application is free. This includes up to two rounds of revisions. A fee may be charged for a subsequent application, such as for a totally new design or for minor works such as a pool, shed or change of materials.

After the DRP endorses your house and garden plans, you must obtain a building permit before any excavation or construction begins on your lot. Your builder can arrange this.

## THE DESIGN APPROVAL PORTAL

A link to the DRP portal can be found via the below button. When you log in, you'll find information about your lot and the entire estate, including the estate plan, the Plan of Subdivision, and the design standards that apply to your lot.

DESIGN REVIEW PANEL PORTAL

When you're ready, use the portal to apply for approval of the design of your house and garden. Just enter the relevant details and attach the appropriate plans. If you wish, instead of completing the application yourself, you can delegate the task to your designer or builder. Simply provide their details in the portal.

The DRP will respond to your application within fourteen days, and usually sooner. You can use the portal to track the progress of your application. Sometimes, the DRP will ask for further information, or will advise you that the design does not yet comply with one or more standards.

When the DRP finds that your application is complete and fully complying, it will send you or your delegate a letter of approval and endorse your plans. With these in hand, you can apply for a building permit.







WAIVERS

You may ask the DRP to exempt your design from one or more standards. The DRP may endorse proposed works which do not comply with the standards, if it finds the works will result in a better outcome and not cause significant detriment to any neighbours. Please note that the DRP only has the power to waive some of the standards.

To apply for an exemption, note this when you complete your application. Specify the standard and explain the specific design reasons why your proposal should be exempted.

If the DRP has the power to grant a waiver of the specified standard, it will apply the following four tests to your design:

1. The proposal meets the general intent of the standard;
2. The variation will not cause significant detriment to the streetscape or your neighbours;
3. The design of the proposal is in keeping with the character of the area;
4. There is no practical alternative.

If the DRP grants an exemption, it will detail in the letter of approval which standards have been waived and why.

YOUR APPLICATION

Lodge your application online using the DRP portal. Most applications will need drawings to communicate the proposed works. Please upload your drawings in PDF format.

The table on the right details the typical drawings and the information that is usually found in each. Examples of each drawing type are shown in the DRP portal.

INFORMATION IN DRAWINGS

SUBJECT	TYPE OF DRAWING	ESSENTIAL INFO	OTHER USEFUL INFORMATION
Existing site	Plan	Lot boundaries, north point, scale, easements, and existing features such as fences and trees.	Existing contours and spot levels
Proposed development	Plan	Lot boundaries, north point, scale, easements, areas of cut and fill, house location, dimensions of setbacks from all boundaries, driveway, crossover, fence type and height, outbuildings, pool (if any), retaining walls.	Proposed contours, site coverage (%), floor areas (m <sup>2</sup> )
House layout	Floorplan(s)	External walls, doors and windows, rooms, room names, balconies, porches, verandahs, alfrescos, terraces, decks, ancillary items, finished floor levels, and important dimensions.	Areas of batters and benches
Façades	Elevations	Each elevation (usually four), direction of the façade, height of top of building above natural ground level, floor to ceiling height, line of building envelope, external materials and finishes, roof pitches, eaves depth, ancillary items, existing and proposed ground lines, retaining walls.	
External materials and colours	Materials schedule, sample images	Name of manufacturer, product, range, and colour. Photo of each material and colour, labelled and showing the colour accurately.	
Front yard, fences	Landscape plan	Driveway, crossover, paths, materials, front fence (if any), return fence, interlot fence, fence material and height, minor structures such as pools, sheds and pergolas, retaining walls, lawns, garden beds, locations of trees, shrub or groups of small plants, mulch, edging, and plant schedule with species, size and quantity.	Elevation of fence
	Section	Existing and proposed ground levels, retaining walls, height of top of building above ground level (on sloping sites only).	

The DRP prefers drawings to be of a professional standard, but any drawing will do, if it communicates the necessary information. Send a hand-drawn sketch if you wish!



GOOD NEIGHBOURS

You and the owners of the lots abutting yours are likely to be neighbours for years. A good relationship will help you both. To start the relationship well, we suggest that you:

- Welcome them to the neighbourhood;
- Consult them on the cost and timing of any shared boundary fences and retaining walls;
- Don't change soil levels on the boundary without their agreement;
- Don't let increased volumes or concentration of stormwater discharge into other lots; and
- Keep soil and construction materials on your lot.

CONSTRUCTION TIMING

Construction work must begin on the lot within eighteen (18) months of the lot's title being registered. Construction work must finish within twelve (12) months of beginning. During the construction period, construction can't stop for more than three (3) months in total.

FINISHING TOUCHES

Once a building surveyor has inspected the house and issued an occupancy permit, the builder can hand over the keys and the new residents can move in. Within three months of the occupancy permit being issued, lot owners must:

- Landscape the front yard and the street verge in front of the lot;
- Install permanent window furnishings, such as curtains and blinds, on all street-facing facades; and
- Erect boundary fences.

This ensures the neighbourhood looks attractive and complete.

CHANGES FROM THE ENDORSED PLANS

What is built sometimes differs from that shown in the endorsed plans. If you wish to change what is built, either before or during construction, simply send the DRP revised plans for re-endorsement. These will usually be approved, with little delay.

If the audit shows your house and garden differs from the plans endorsed for your lot:

- You must seek approval for the changes or reconstruct the work to accord with the endorsed plans.
- Your bond will be withheld until all non-compliances are rectified.
- You may be liable for liquidated damages.





LEGAL MATTERS

STATUTORY REQUIREMENTS

Approval from the DRP does not imply that proposals comply with the relevant statutory requirements. Applicants are responsible for ensuring that development proposals comply with all applicable statutory requirements before development commences, including town planning, building regulations and energy rating standards.

PRECEDENCE

If there is any discrepancy between these standards and other relevant standards, the order of precedence is as follows:

1.

The Planning Scheme, the Building Regulations, the Small Lot Housing Code.
2.

The Memorandum of Common Provisions.
3.

These design standards.

CHANGES TO THESE STANDARDS

The developer of the estate may alter these design standards at any time, in response to statutory changes, technological advances, market conditions, or for any other reason. The latest version of these standards may be viewed at mirradale.com.au. You, the owner of a lot, agrees that if the developer of the estate alters these standards, you will not object and you will not hold the developer of the estate liable for doing so, either prior to, during, or after construction works on your lot.

DETERMINATION OF APPLICATIONS

The DRP assesses each proposal for compliance with the design standards for the estate. The DRP may at its absolute discretion approve a proposal that does not comply with all standards, if it finds that a proposal meets the objectives of the standards. The DRP may at its absolute discretion refuse to approve a proposal that complies with all standards, if it finds that the proposal does not meet one or more objectives of the standards. If so, it must detail in writing to the applicant why the application has been refused. The determination of the Design Review Panel is final, and you agree to not dispute its interpretation of these standards.

LIABILITY

The DRP will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any noncompliance with these Design Guidelines.

FENCES ACT

If your lot abuts another lot owned by the developer of the estate, and you wish to construct a fence on that boundary, you as the owner of the lot agree that the contribution by the developer of the estate towards that fence will be one dollar (\$1.00), payable fourteen (14) days after you give written notice of completion of the fence, if the developer is the owner of the abutting lot at the time the fence is completed.

RIGHT OF INSPECTION AND RECTIFICATION

You, the lot owner, irrevocably authorise the developer of the estate and its agents, including the Design Review Group, to enter your property, upon giving reasonable notice:

- To carry out an inspection to determine if there has been a breach of any of these design standards; and
- To rectify any breach of these design standards.

Such entry and access shall not constitute trespass and you shall not make any claim against the developer of the estate or its agents arising from such entry or access. Your authority allows entry on multiple occasions provided separate notices are given. You shall be responsible for the costs expended by the developer or its agents (as well as the costs of Council or any other authority) in exercising rights under this clause. In addition, if the developer elects to slash or mow your property, you will pay the developer the sum of \$200.00 upon demand for each and every occasion the developer mows or slashes your property.

NO MERGER

The parties agree that the provisions of these design standards will not merge on the completion of the Contract of Sale.

ASSIGNMENT

You will not sell, transfer or otherwise dispose of your allotment without first delivering to the developer a Deed of Covenant given by the purchaser, transferee or disponent in favour of the developer of the estate containing covenants on the same terms (mutatis mutandis) as are set forth herein including liability to obtain such Deed of Covenant from any further purchaser, transferee or disponent.

Objectives

These design standards help to create and preserve the value of your lot, your street and the whole estate. Each standard helps to achieve the objectives listed.

NUMBER	OBJECTIVE	STANDARDS
TO BENEFIT THE COMMUNITY		
C1	To create an attractive streetscape	1.02, 1.04, 1.09, 1.10, 1.11, 2.06, 2.07, 2.08, 2.09, 2.10, 2.12, 3.01, 3.02, 3.03, 3.04, 3.06, 3.10, 3.16, 4.02, 4.03, 4.05, 4.08, 4.09, 5.01, 6.01, 6.02, 6.03, 6.06, 6.07, 6.08, 6.10, 6.11, 6.14, 6.15, 6.16, 7.01
C2	To focus attention on the human-scaled part of the front façade of the house	1.08, 1.11, 2.07, 3.06, 4.02, 4.03, 4.04, 4.08, 4.09, 6.03
C3	To create consistency through style, setback, materials, colouring or in other ways	1.01, 1.02, 1.04, 2.06, 3.01, 3.02, 3.03, 3.06, 3.07, 3.08, 6.07, 6.08, 6.10
C4	To create visual interest and variety and to avoid clutter	1.10, 1.11, 1.13, 2.07, 2.08, 2.09, 3.11, 3.12, 3.14, 3.15, 4.01, 4.08, 4.09, 4.10, 4.11, 5.01, 5.02, 5.03, 5.04, 5.05, 5.06, 6.01, 6.02, 6.03, 6.06
C5	To complement the house exterior	3.10, 3.13, 4.07, 4.10, 5.02, 6.16
C6	To provide attractive planting areas	1.03, 1.04, 4.11, 6.11, 6.12, 6.13, 6.14, 6.15
C7	To ensure at least moderate standards of amenity, and to provide that impression	1.03, 2.10, 3.05, 3.16, 4.05, 4.06, 6.10, 6.15, 6.16
C8	To relate structures to the natural topography	2.01, 2.02, 2.03
C9	To improve the security of the street	2.12, 3.09
TO BENEFIT THE NEIGHBOURS		
N1	To clearly separate land parcels in different ownership	2.04, 6.04
N2	To protect privacy	2.13, 6.04
N3	To protect and improve amenity	1.02, 2.05, 6.04, 6.05
N4	To reduce glare and reflected heat	3.05
TO BENEFIT THE LOT OWNER		
L1	To allow adequate ventilation and daylight into buildings and grounds	1.02, 1.05, 1.06, 6.05
L2	To ensure adequate access within the lot	1.13, 6.09
L3	To provide adequate shelter	2.11
L4	To improve energy and resource efficiency	1.12, 3.07, 3.08, 6.05
L5	To provide an off-street parking space for visitors' cars	1.07



# 1. Building Siting

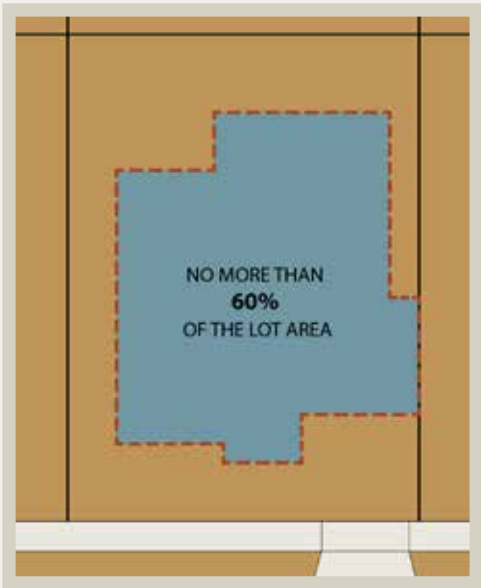
## SITING AND COVERAGE

- S1.01**

Only one house may be built on a lot. [C3]
- S1.02**

The house and any other building must comply with the setbacks in the Building Envelope Plan. [C1, C3, N3, L1]
- S1.03**

The built area must cover no more than 60% of the lot's area. [C6, C7]



## FRONT SETBACK

- S1.04**

The house must be set back a minimum of 6 m from the front lot boundary. [C1, C3, C6]

## SIDE & REAR SETBACKS

- S1.05**

The house and any other buildings on a mid-block lot must be set back from all side and rear boundaries as shown in the tables below. [L1]

A LOT WITH ONE PUBLIC SIDE	
HEIGHT OF BUILDING ABOVE NATURAL GROUND LEVEL	MINIMUM DISTANCE SET BACK FROM LOT BOUNDARY
Less than 3.6 m	1.0 m
3.6 m to 6.9 m	1.0 m + 300 mm for every metre over 3.6 m
More than 6.9 m	2.0 m + 1 m for every metre over 6.9 m

- S1.06**

The house and any other buildings on a corner lot must be set back from all side and rear boundaries as shown in the tables below. [L1]

A CORNER LOT	
HEIGHT OF BUILDING ABOVE NATURAL GROUND LEVEL	MINIMUM DISTANCE SET BACK FROM ANY LOT BOUNDARY ABUTTING A SECONDARY STREET
Less than 3.6 m	2.0 m
3.6 m to 6.9 m	2.0 m
More than 6.9 m	2.0 m + 1 m for every metre over 6.9 m

## GARAGE SETBACKS

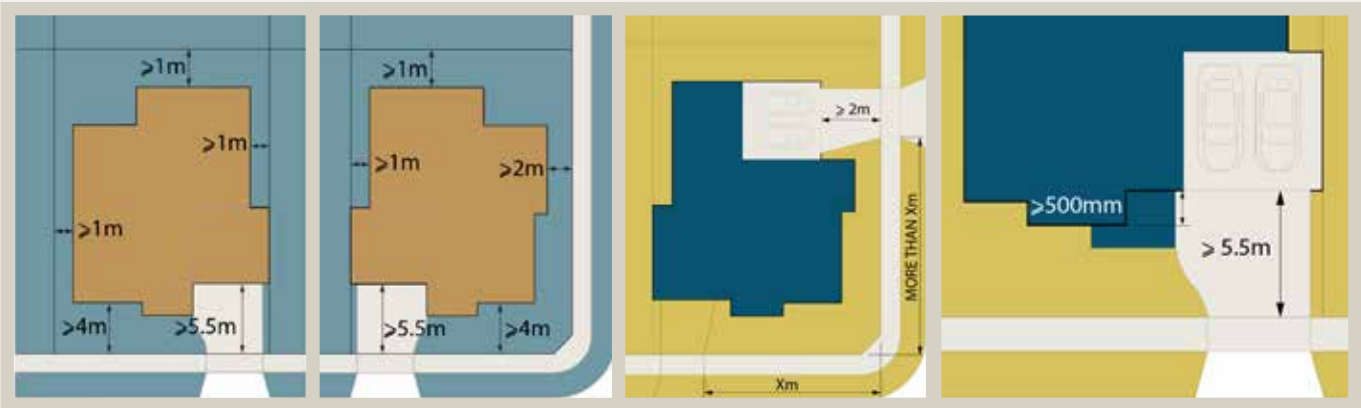
- S1.07**

A garage must be set back a minimum of 5.5 m from the front boundary of the lot. [L5]
- S1.08**

The front wall of a garage must be set back from the front wall of the house at least 500 mm. [C2]
- S1.09**

On a corner lot, the garage may face a secondary street, if:

  - (a) it is set back from the lot's side boundary at least 2.0 m; and
  - (b) it is further from the street corner than if it were on the primary street. [C1]



USE OF THE SETBACK AREAS

**S1.10**  
Entry features no higher than 4.5 m above natural ground level, such as a verandah, porch or portico, may extend into the front setback up to 1.5 m. [C1, C4]

**S1.11**  
A balcony or other architectural feature no higher than 6.9 m above natural ground level, such as a balcony, may extend into the front setback up to 1.0 m. [C1, C2, C4]

**S1.12**  
Eaves, gutters and fascias may extend into the front setback up to 1.5 m, into a side setback facing the public realm 1.0 m, and into any other side or rear setback area up to 500 mm. [L4]

**S1.13**  
Elements such as pergolas and sunblinds may extend into side and rear setback areas up to 600 mm. [C4, L2]

2. Building Design

RESPONDING TO SLOPE

The design of the house must respond to the existing slope of the land, and avoid excessive cutting and filling. A lot’s gradient is calculated as the fall from the highest point on the lot to the lowest.

**S2.01**  
A flattened areas of ground on which to place a house, also known as a ‘bench’, must be no larger than the dimension shown in the table below. [C8]

MAXIMUM BENCHING		
SLOPE	GRADIENT*	MAXIMUM LENGTH OR WIDTH OF BENCH
Flat	Flatter than 1:15	No maximum length
	1:15	30 m
Moderate slope	1:12	24 m
	1:10	20 m
	1:8	16 m
Steep slope	1:7	14 m
	1:6 or steeper	12 m

\*For the purpose of this standard, a lot’s gradient is calculated as the fall from the highest point on the lot to the lowest. Gradients in between those listed should use the closest flatter grade.

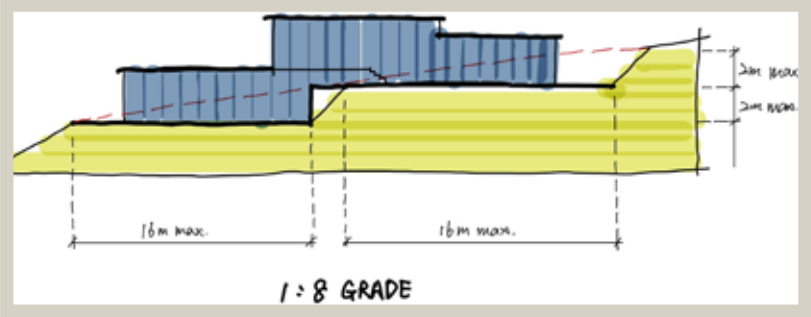
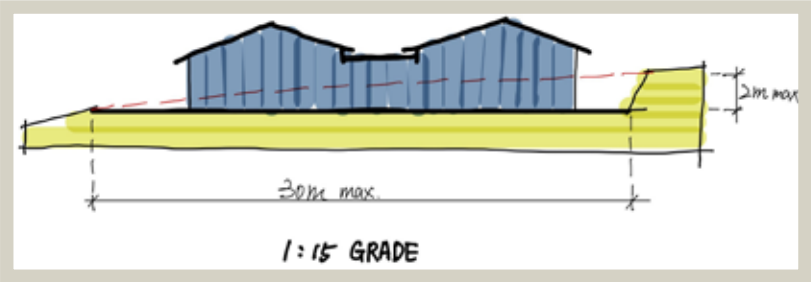


**S2.02**  
A cut must be no more than 2.0 m below natural ground level. [C8]

**S2.03**  
Any visible filling must be no more than 500 mm above natural ground level. [C8]

**S2.04**  
The top of a cut must be no less than 1 m from any boundary. [N1]

**S2.05**  
Levels on the lot’s boundaries must only be altered after written approval from the owner of the abutting land. [N3]





STYLE

S2.06

The style of the house must be clearly contemporary. Stylistic elements used in other periods may be included. [C1, C3].

Examples of contemporary coastal township houses are shown below.



ARTICULATION

S2.07

Every facade facing a street or park must be at least moderately articulated. [C1, C2, C4]

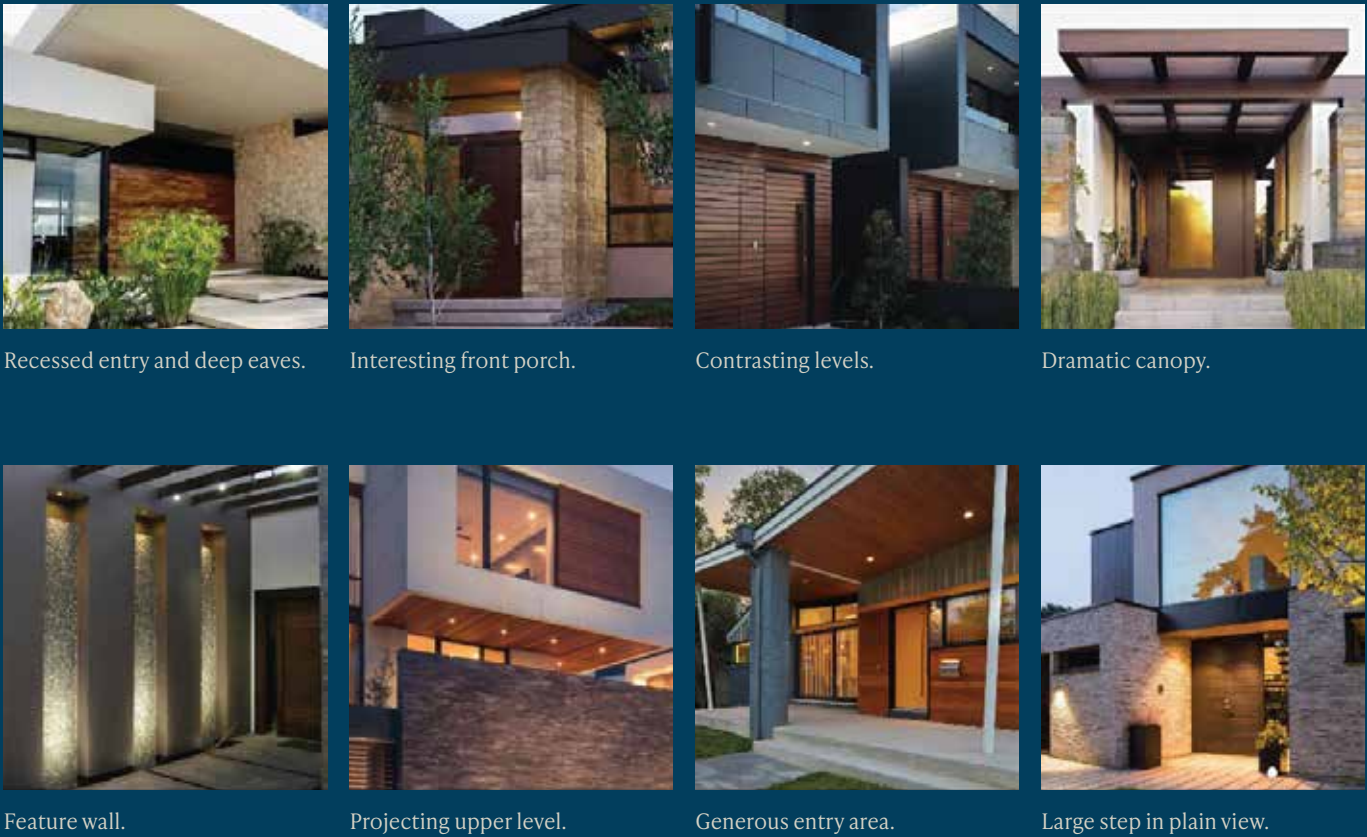
Examples of well-articulated facades are shown below.

Techniques to articulate a façade include:

- Stepping the façade with recessed or projecting areas.
- Adding a structure that gives depth to the façade, such as a balcony, verandah, porch, pergola, awning, sunshade or screen.

The design reviewer will deem that the façade meets this standard if it includes:

- A step in plan view of at least 500 mm, excluding the garage.
- One structure to give depth.





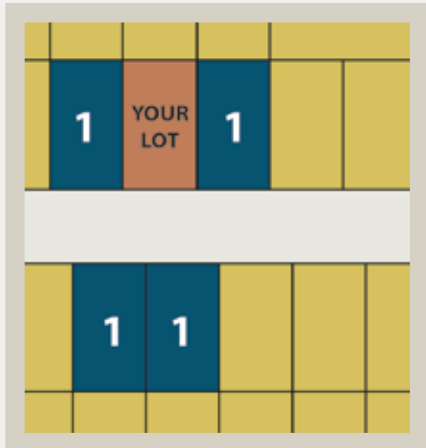
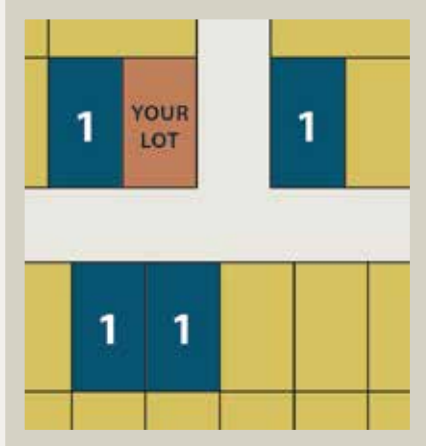
DISTINCTIVE APPEARANCE

S2.08

The front façade must not be identical or very similar to a façade on the same street on a lot adjacent to your lot, except as approved by the DRP. This includes buildings constructed, under construction and in applications already received by the DRP. [C1, C4]

Techniques to vary the façade’s appearance include:

- Alter the shape of the façade, using wall articulation, roof shape, and by adding features such as gables, verandahs and porches.
- Change the roof and wall materials.
- Vary the colours of roof materials, wall materials, window frames, window glass and garage doors.
- Modify the shape, size and placement of elements such as windows, columns and doors.



SECONDARY FAÇADE ON CORNER LOTS

S2.09

The features, details, materials and colours of a facade facing a secondary street or park must be similar to the front façade. This includes window size and shape, materials, wall articulation, roof features, and articulating elements such as pergolas, porches and balconies. Walls in front of the return fence must be treated in a similar manner to the front façade, and cannot be blank. [C1, C4]



CEILING HEIGHT

S2.10

The height of the ceiling must be at least 2.7 m above the finished floor level. [C1, C7]

ENTRY STRUCTURE

S2.11

A structure, such as a porch or verandah, must provide weather protection to the area immediately in front of the front door. The structure must be roofed, have an area of at least 4.0 m², a depth of 1.5 m, and be made of long-lasting materials. It must be separate from the main roof form. [L3]

VIEWING THE STREET

S2.12

The front façade must contain at least one window with a view from a habitable room to the street. [C1, C9]

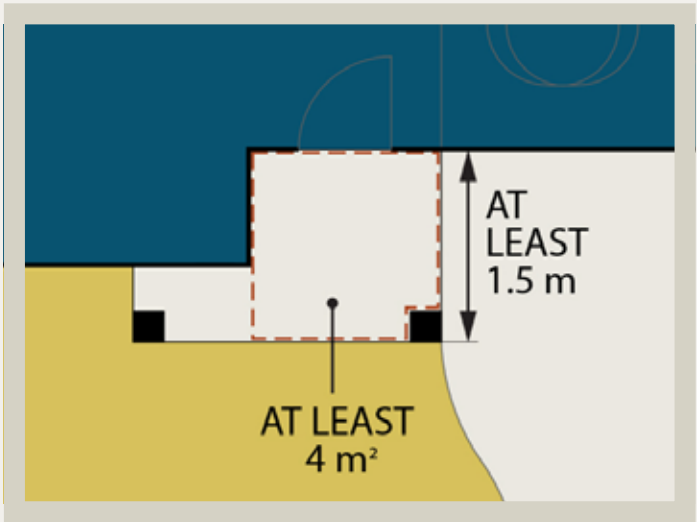
NEIGHBOUR’S PRIVACY

S2.13

If a habitable room on an upper storey, or a balcony, has a view to the windows of a nearby house within 9 m horizontal distance, or to the secluded private open space of an adjoining lot within 9 m horizontal distance, the view must be totally blocked. [N2]

Techniques to do so include:

- Set back the viewing area.
- Delete the window or balcony.
- Make the windowsill heights at least 1.7 m above floor level.
- Install obscure glazing or screening up to 1.7 m above floor level.
- Install fixed external screening.





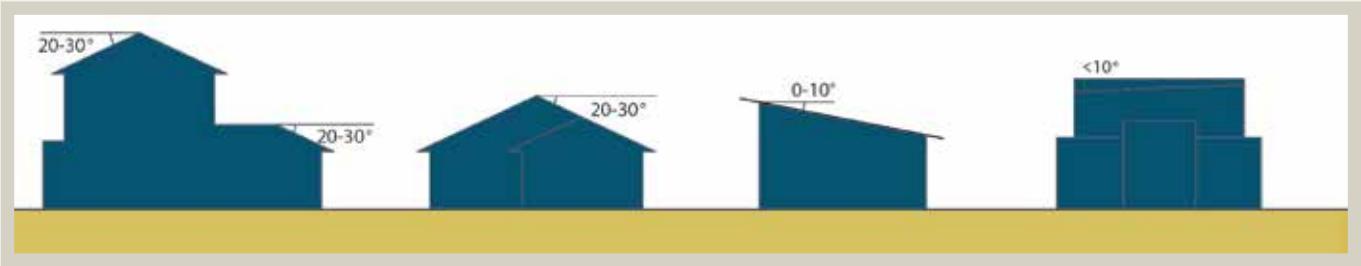


# 3. Roofs and Walls

## COLOURS

**S3.01**  
The colours used on external roofs and walls must be from the palette of muted, earthy colours shown below or similar colours. [C1, C3]

**S3.02**  
The colour scheme of the house’s exterior must have moderate tonal contrast, avoiding being very light, very dark or a strong black and white contrast. [C1, C3]



## ROOFS

**S3.03**  
The pitch of the roof must be between 0-10° and 20-30°. Pitched roofs are preferred. Flat and skillion roofs will be considered on merit. [C1, C3]

**S3.04**  
A flat roof must be screened with a parapet to the front façade and along the sides for at least 1.5 m. See diagram below. [C1]

**S3.05**  
The roof material must be: prefinished and coloured sheet metal (e.g. Colorbond); slate; or tiles made from concrete or clay. Zinc, fibre cement or tray deck sheets are prohibited. Unfinished, reflective or galvanised sheeting is prohibited. [C7, N4]

**S3.06**  
The colour of the roof must be moderate. Black, dark grey and garish colours are prohibited. [C1, C2, C3]





EAVES

S3.07

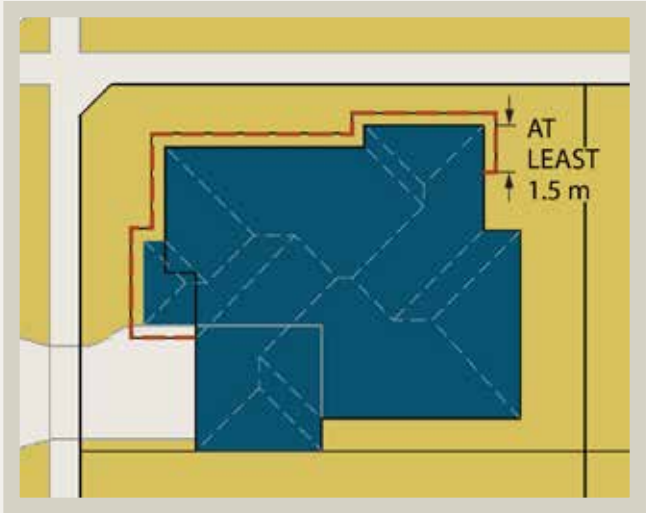
On a single storey house, eaves at least 450 mm deep must be provided over the front façade and any façade facing a secondary street or park. They must extend along the sides of the house at least 1.5 m. Eaves do not need to be provided over the front wall of a garage. [C3, L4]

S3.08

On a house of two or more storeys, eaves at least 450 mm deep must be provided around the entire house. [C3, L4]

S3.09

On a house with a roof pitch of less than 20°, the eaves must be at least 600 mm deep. [C9]



S3.07

WALLS

S3.10

External walls may be: render, masonry, weatherboard, timber, or another material as approved by the DRP. [C1, C5]

S3.11

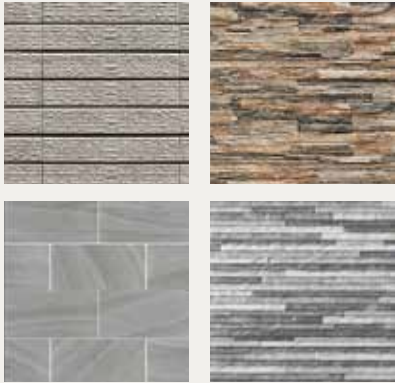
The front façade must be made of at least two complementary wall materials. If only two materials are used, any one material must typically cover more than 10% of the wall area, and be prominent. [C4]

Some examples of suitable materials are shown below.

Brickwork



Tiles



Stacked Stone



Rough Render



Textured Render



Sheet Cladding



Weatherboard



Horizontal Timber Slats



Vertical Timber Slats



S3.12

Any one material or colour must cover no more than 70% of the wall area of the front façade. [C4]

S3.13

Fascias, gutters and downpipes must be pre-finished or painted, using a colour complementing the main colour of the house. Downpipes must be the same colour as the fascias and gutters, or as the wall. [C5]

S3.14

A wall facing a street or park must have no blank surface wider than 4.0 m for a single storey wall, and 3.0 m for a higher wall. [C4]

Techniques to do so include:

- Decrease the wall area.
- Use a different material for each storey.
- Add a moulding, string course or band of render between storeys.
- Change the window positions.
- Add windows.
- Add patterns, insets or projections to brickwork.
- Step the wall in or out.

WALL TRANSITION

S3.15

If the house has more than one floor level, the walls of the upper levels must be clad in a different material to the ground level. [C4]

AREAS ABOVE OPENINGS

S3.16

If a wall is visible from the public realm, the area above an opening such as a window or door must be made from the same materials as either side of the opening, and be set at the same alignment. [C1, C7]



# 4. Garages and Driveways

## GARAGES

Garage doors tend to be large blank walls, and so typically make a house look less appealing. As such, streets and houses tend to look best where the garages are visually downplayed.

One way to downplay the garage is to choose a garage door colour that matches the surrounding wall colour, or has a similar hue and tone. Another way is to use tandem parking spaces, that is, one parking space behind the other.

### S4.01

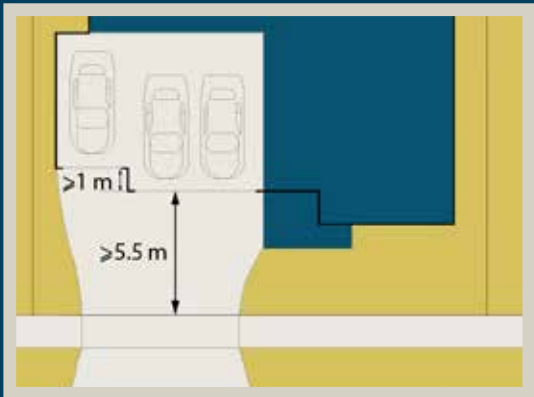
The house must include a garage for at least two vehicles, integral to the building. [C4]

### S4.02

Any one opening in the front wall of the garage must be no wider than 6.0 m or 50% of the width of the front façade, whichever is the narrower. [C1, C2]



S4.02



S4.04

### S4.03

If the garage opening is within a front façade more than one storey high, the opening must be 30% or less of the front façade's wall area, as measured on an elevation drawing. [C1, C2]

### S4.04

The front wall of a space to store a third vehicle must be set behind the front wall of the other vehicle spaces at least 1.0 m. [C2]

### S4.05

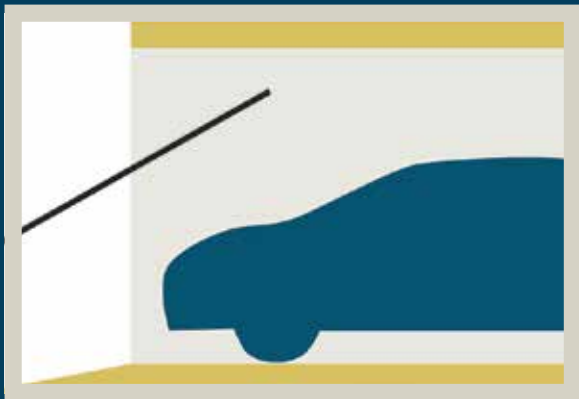
Garage doors must be tilting or sectional types. [C1, C7]

### S4.06

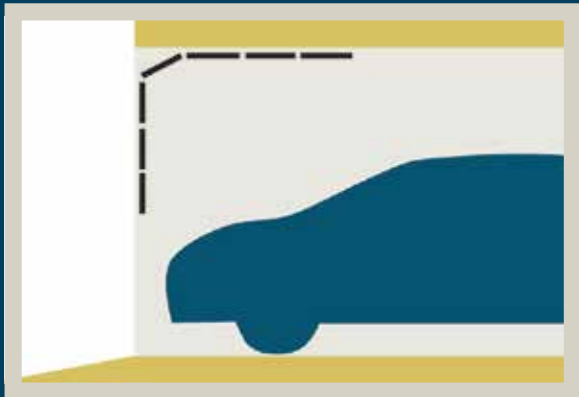
A roller door must not be used where it can be seen from the public realm. [C7]

### S4.07

The style, material, colour and finish of the garage door must complement the house. [C5]



S4.05



S4.05



S4.05



## DRIVEWAYS

### S4.08

Only one driveway is permitted per allotment. [C1, C2, C4]

### S4.09

The driveway must be no wider than the crossover at the front boundary of the lot, and must be no wider than the garage opening where it meets the house. [C1, C2, C4]

### S4.10

The driveway must have a matte finish, and be made from: stone; brick; in-situ concrete with an exposed aggregate finish; in-situ concrete coloured throughout with pigment; or concrete pavers. [C4, C5]



## GARDEN BED BESIDE DRIVEWAY

### S4.11

The area between the driveway and the nearest side boundary must be a garden bed at least 500 mm wide. [C4, C6]



S4.11



# 5. Outbuilding and Ancillary Items

## SHEDS

**S5.01**  
Sheds smaller than 10 m<sup>2</sup> in area must be inconspicuous when viewed from the public realm. [C1, C4].

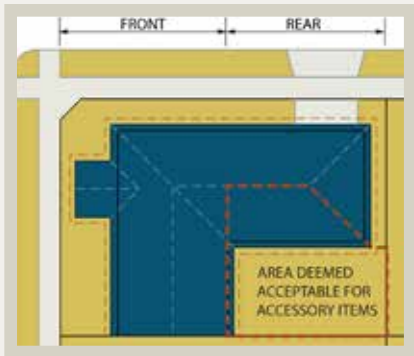
**S5.02**  
Sheds larger than 10 m<sup>2</sup> must be constructed of the same wall and roof materials and the same colours as the house. [C4, C5]

## ANCILLARY ITEMS

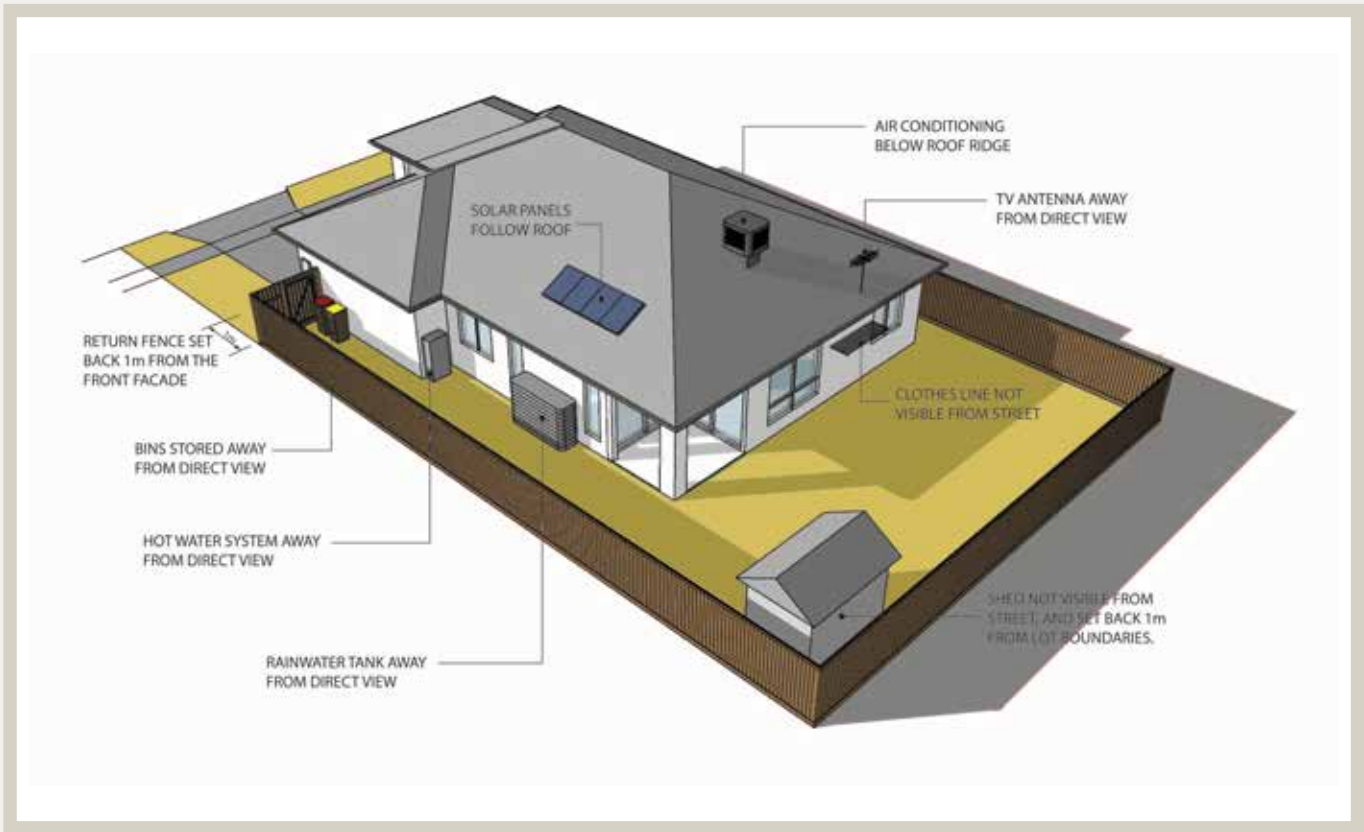
**S5.03**  
On a lot with one street frontage, ancillary items must be inconspicuous when viewed from the street. Items will be deemed to be inconspicuous if located in the rear 50% of the lot, fully screened, or inside a building. [C4]

**S5.04**  
On a corner lot, any ancillary items must be inconspicuous when viewed from all adjacent streets. [C4]

The DRP will deem that the item meets this standard if it is located in the rear 50% of the lot and on the side of the house opposite the secondary street; fully screened; or inside a building.



S5.04



S5.03

# 6. Fences and Yards

## AIR CONDITIONING UNITS

**S5.05**  
Air conditioning units on the roof must match the colour of the roof, be positioned below the roof ridge line, be noise attenuated and not be visible from streets or parks. [C4]

**S5.06**  
External condensers of split air conditioning units, and all associated piping and cabling, must be mounted away from public view or be screened. [C4]



S5.05



S5.06

## FRONT YARD FENCES

**S6.01**  
The front yard may be fenced, if the fence is not more than 1.5 m high, and made from rendered masonry, face brick, stone-faced masonry, timber pickets, or metal slats. [C1, C4]

**S6.02**  
Wing fences (fences along the side boundaries of a front yard) are permitted if they have the same specification as the fence on the front boundary. (Note: the same height must be maintained for the entire length. Raking to meet a higher fence is not allowed.) [C1, C4]

## BACK YARD FENCES

**S6.03**  
Interlot fences (side and rear fences above eye height) must be set back at least 1 m from the nearest front corner of the house. [C1, C2, C4]

**S6.04**  
Side and rear fences must be made of 'Monument' coloured Colorbond or equivalent and be no more than 1.8 m high above natural ground level. [N1, N2, N3]

**S6.05**  
The maximum combined height of a fence and retaining wall must be no more than 2.0 m. [N3, L1, L4]

**S6.06**  
On a corner lot, the side fence next to a secondary street must be set back at least 4 m from the front corner of the house, or the length of the first habitable room, whichever is the greater. [C1, C4]



S6.07

For all corner lots, the side fence adjacent the secondary street shall be provided and constructed by Wel.Co. [C1, C3]

S6.08

Each return fence and any gates in it must match the side fence, namely, be made of ‘Monument’ coloured Colorbond or equivalent. [C1, C3]

ACCESS TO THE BACK YARD

S6.09

Access must be provided to the back yard by a gate in the return fence or by a rear door in the garage. [L2]

LETTERBOX

S6.10

The letterbox must be contemporary in style, complement the dwelling, be substantial, and be constructed from metal, timber, brick or rendered masonry. It must clearly display the street number. [C1, C3, C7]



S6.10



S6.11

LANDSCAPING

S6.11

A landscape plan of the front yard must be submitted as part of the application, showing the species of plants to be used, where they are to be planted, the total number of each species, and the size of each plant, either as pot size or trunk diameter. [C1, C6]

S6.12

At least 20% of the area of the front yard must be garden beds. Beds must be mulched with at least 25 mm depth of bark, other organic material, or stones, and edged with a long-lasting material. [C6]

S6.13

Plants in garden beds must be planted densely enough to ensure minimal visibility of mulch within two years. [C6]

S6.14

At least one tree must be planted in the front yard. The tree must: be at least 2 m high when planted. [C1, C6]

RETAINING WALLS

S6.15

Freestanding retaining walls must be no more than 1.0 m high. Two or more walls may be used to retain higher banks, if the walls are separated by garden beds at least 300 mm wide. [C1, C6, C7]

S6.16

Retaining walls must be made from rendered masonry, coloured and patterned concrete, or stone. Other materials may be approved at the discretion of the DRP. Timber retaining walls are prohibited. [C1, C5, C7]

7. Prohibited Materials

S7.01

The following materials must not be used in any area visible to the public: [C1]

- Glass that is reflective, frosted, coloured, stained, leadlight or patterned.

- Unpainted metalwork.

- Unpainted cement sheeting.

- Mouldings made from lightweight foam or fibre-reinforced concrete (FRC).

- Roofing made from zinc, fibre cement or tray deck sheeting.

- Roof sheeting that is reflective or galvanised.

- Infill panels above openings.

- Unscreened stumps.

- Bright colours on walls and roofs, except if used as a highlight colour on the walls, and only with DRP approval.

- Coffered or rectangular relief pattern garage doors.

- Roller shutters over windows and doors, if the roller box is visible.

- Plain, stamped or stencilled concrete.

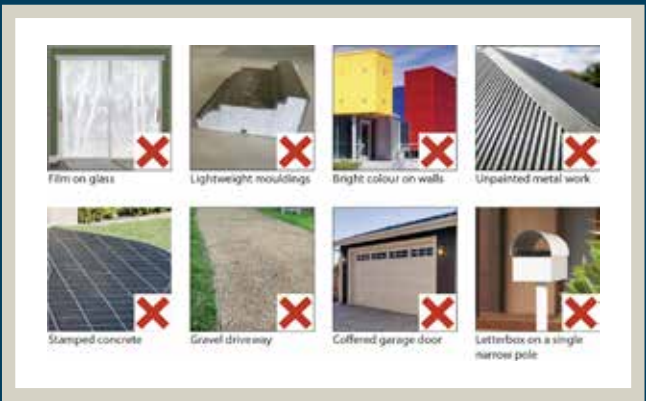
- Painted driveways.

- Gravel driveways.

- Shiny or reflective surfaces on driveways.

- Letterboxes on a single narrow pole.

- Timber retaining walls





DEFINITIONS

Words in the design standards have their everyday meaning, except for those below.

Ancillary items	Fixtures or fittings placed on or besides the house. This includes sheds with a floor area less than 10 m² and a height less than 3.6 m, air conditioning equipment, aerials, satellite dishes, solar panels, hot water storage tanks, rainwater tanks, washing lines, meter boxes, pumps, air conditioning equipment and rubbish bins.
Articulation	Prominent differences in the forms, planes, materials, finishes and colours between different parts of a building’s façade.
Built area	Any area on the lot enclosed by walls, including garages and sheds, and the area of any verandah, porch, alfresco or carport.
Corner lot	A lot with boundaries next to two intersecting streets; the opposite of a mid-block lot.
Fascia	A board covering the ends of rafters.
In-situ concrete	Concrete poured in place; not pre-cast.
Irregular lot	A lot which has a shape that is not rectangular.
Mid-block lot	A lot with boundaries to only one street; the opposite of a corner lot.
Natural ground level	The height of the ground on the allotment at the time it was sold by the estate developer. These heights are shown on engineering plans of the estate.
Park	Publicly owned land available for use by the public for recreation. Does not include tree reserves.
Primary street	The street that the front of the house faces.
Retaining wall	A wall used to retain soil behind it.
Return fence	A fence running between the house and the side boundary of the allotment, typically blocking public access to the rear yard.
Screened	An object surrounded on all sides and for its entire height by a building material with no more than 25% of its area transparent and with any individual transparent are having a maximum dimension of 50 mm in any direction.
Secondary street	A street next to the side of an allotment, and intersecting with the primary street.
Tree	A perennial plant with a single trunk growing to at least 6 m high when mature.
Wall area	The area of a wall excluding all openings, such as windows, doors and garage doors.



